

5.0 DESIGN GUIDELINES



Kennedy Hall, School of Law

5.1 PURPOSE AND INTENT

The purpose of the Chapman University Specific Plan design guidelines is to establish a context for future University development that ensures an enduring and identifiable visual image for the campus and the community, and protects the historic resources and the adjoining Old Towne District which contribute to the cultural richness of the University, thus fostering a positive relationship with the larger community in which it resides. The design guidelines define and reinforce the regulations and standards contained in the Specific Plan. These guidelines will be used by planners, architects, landscape architects, engineers and builders, with assistance from the University, to assure high-quality campus character, appearance and land use compatibility.

The goals of the Specific Plan design guidelines are as follows:

- Develop a campus which is visually representative of a smaller prestigious university.
- Provide the necessary design criteria for historic resources in accordance with local, state and federal regulations, standards and guidelines.
- Create a strong campus identity that is consistent and recognizable for both the University and the residents of the Orange community.
- Provide guidance to ensure that new buildings are architecturally compatible with the existing campus architecture.
- Respond to the aesthetic expectations of the surrounding community by designing and locating facilities in a manner that preserves and enhances the desirable features of local and neighborhood areas and promotes their sense of identity.
- Provide edge and transition standards that respect the character of the campus/community interface.
- Preserve and enhance the desirable and unique architectural quality already represented on the campus.
- Encourage preservation of existing older structures in the Specific Plan area that merit saving because of historic or architectural merit, using methods such as rehabilitation, adaptive use, relocation and infill.



Memorial Hall

These design guidelines will focus largely on the University as a whole community by integrating design concepts that provide the basis for a vital and cohesive campus. The individual planning areas will continue to develop their own unique identities, while at the same time evolve in relation to the overall University community concept.

The additional benefits resulting from implementation of the design guidelines include:

- Development of a strong, positive image and relationship with the City concerning the significance of the campus.
- Creation of an attractive collegiate environment for those students and parents who are considering the selection of and enrollment in a university.
- Provision of opportunities to promote an appropriate image for fund-raising activities.
- Enhancement of the perceived stature of the school as it relates to other universities and facilities.

5.2 CONTEXT PLANNING GUIDELINES

New construction, infill and edge development projects within the Specific Plan area must take into consideration the relationship and compatibility of the proposed project with its surroundings through an assessment of existing site and contextual information. Prior to the schematic design of these projects, a site analysis shall be conducted to form the design parameters based on the site and neighborhood context. Issues such as land utilization, interface with adjoining uses, visibility of facilities, historic context, architectural character, landscape and streetscape relationships will be considered.

As part of context planning, potential effect of the new, infill and edge development projects on the neighborhood and Old Towne District will be assessed. The Sanborn Insurance Maps are a useful tool for determining nearby building(s) that shall be considered when evaluating the historic context of a proposed project. The maps covering the Specific Plan area are included in Appendix G, *Sanborn Insurance Maps*, for user reference.

The following guidelines shall apply to new construction, infill and edge development:

1. Preserve buildings or site features that are important in defining the overall historic character of the property so that, as a result, this character is not diminished.
2. Respect the historic context. Development shall not erode, degrade or diminish the individual qualities and defining characteristics of the historic resources in the surrounding neighborhood, or the integrity of the Old Towne District.
3. Additions shall be compatible with the other buildings on the block. This includes compatibility with the street pattern between buildings, their open space, height, mass and bulk. The addition(s) may be stylistically different from the original structure, provided that the new addition(s) consider the surrounding context and use similar massing and materials to ensure continuity.
4. New additions, exterior alterations or related new construction shall not destroy historic features that characterize the property. The new work shall be compatible with the old in terms of massing, size, scale and architectural features to protect the historic integrity of the property and its surroundings.
5. New additions and adjacent or unrelated new construction shall be undertaken in such a manner that if removed in the future, the historic property would be unimpaired.

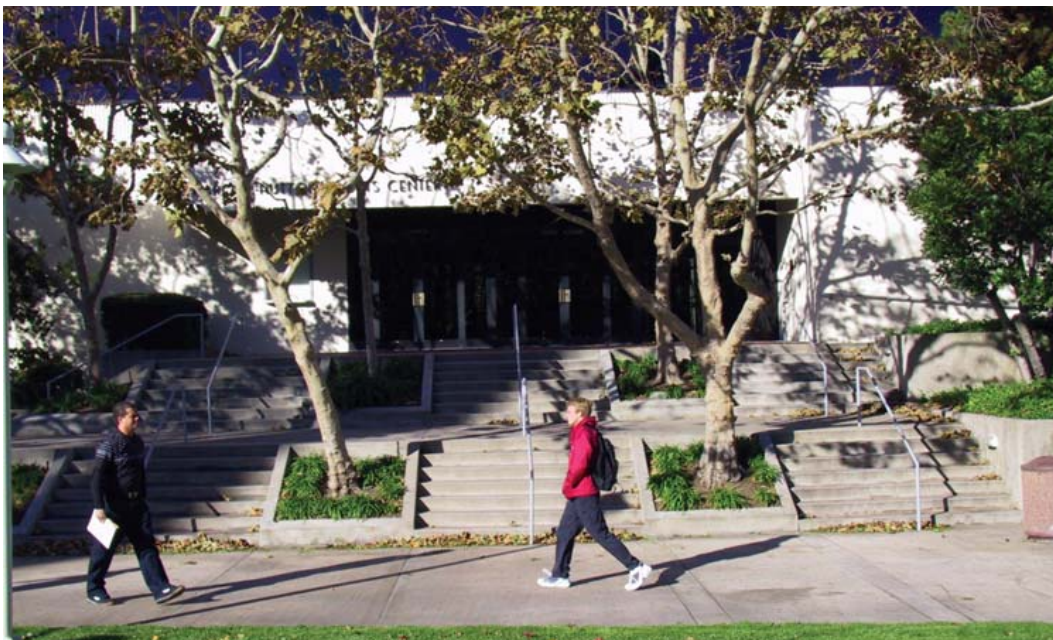
Design and development of the existing non-contiguous buildings outside the main campus shall consider their existing architectural context, potentials for adaptive use, and/or design of appropriate additions. Aside from the Historic Preservation and Enhancement Guidelines (see Section 5.8) for addressing individual historic resources, the Specific Plan also intends to protect the scale and character of campus/community interface by providing a compatible transition as development occurs within these non-contiguous areas. Design of the proposed development shall consider the existing architecture and context of the parcel as a basis for determining the appropriate character and context of new development, as discussed above. The architectural and contextual information shall be included as part of the submittal for Site Plan Review, as outlined in Section 7.3.5, *Submittal Requirements*.

5.3 SITE PLANNING GUIDELINES

Site planning is the process of arranging buildings, landscape areas, pedestrian and vehicular circulation, parking and service areas on a particular site. Campus site development should enhance and complement the surrounding residential and commercial neighborhoods, while meeting the needs of the University.

5.3.1 Building Siting

1. Building sites should be developed in a coordinated manner to create a compatible streetscene that respects the streetscene pattern of other buildings on the block.
2. New buildings should be sited in a manner that will be compatible with adjacent buildings and landscapes. This includes compatibility with the street pattern between buildings, and their open space, height, mass and bulk.
3. Buildings shall be sited so they do not block solar access to off-site residential uses. For each structure that exceeds 32 feet in height, the University shall submit a solar shadow study at the time of Site Plan Review to be reviewed and approved by the Community Development Director.
4. Building main entrances should orient toward street frontages, central courtyards or arcades.



Hutton Sports Center

5.3.2 Parking Areas

1. Shared parking concepts that allow adjacent uses with different peak parking demand times to share spaces will be applied whenever possible.
2. The design of parking areas and structures shall minimize the need for pedestrians to cross parking aisles, and reduce the potential for pedestrian/vehicle conflicts.

5.3.3 Loading, Storage, Trash Collection and Servicing Areas

1. Loading docks and areas shall be screened from view from adjacent lots, neighboring properties and public streets. Loading docks and areas shall be screened to the satisfaction of the Community Development Director.
2. Trash collection areas shall be designed and located conveniently throughout the campus, and provide clear and convenient access to refuse collection vehicles. Deposited refuse shall not be visible from outside the trash enclosure.
3. Trash enclosures shall be screened from ground-level view on three sides by a masonry wall that is compatible with the building design. The wall shall be not less than five feet nor more than six feet in height. The size, number and configuration of trash enclosures shall be approved by the City Sanitation Inspector, in accordance with City zoning requirements. View-obscuring self-latching gates for trash enclosures shall open onto private lanes or property, not the public street or right-of-way.
4. All rooftop mechanical equipment shall be located at a distance from the edge of the building so as not to be visible from the pedestrian level, or be screened or painted in a matter consistent with the building facade. Mechanical equipment shall be integrated into the building design and screened, if visible, from adjacent taller buildings.
5. Utility equipment shall be placed as far from the property frontage as feasible. The highest possible priority should be given to relocating overhead utilities underground whenever feasible.

5.4 ARCHITECTURAL GUIDELINES

Architectural interest and variety, as well as respect for the context of the existing University campus and its environs, are encouraged by this Specific Plan. The building style is usually thought of as an aggregate of several building designs arranged with some degree of site design.

The intent of the architectural design guidelines is to reinforce and commemorate the architectural origins of the University, while allowing flexibility and creativity in building design, placement, scale, height and context. This can be accomplished by respecting the architectural elements presented on campus and in the surrounding community without prescribing to any one style. This encourages new structure compatibility with past architectural styles and patterns which can guide future compatible development.



Kennedy Hall and Beckman Hall Looking North on Glassell Street

The goals of the architectural guidelines are as follows.

- Consider the area and its relationship to the historical district and existing structures surrounding a proposed building to determine the level of architectural influence necessary to achieve a desired level of consistency campus-wide.
- Provide architectural forms that reflect the function of the structure.
- Achieve compatibility throughout the campus by using materials, variations and fenestration details that lend a distinct identity for the University.

One of the existing architectural styles on campus is “neo-classicism,” which was popular between 1900-1920. Neo-classicism was often used for institutional buildings. This style is distinguished in campus design by symmetrically arranged buildings of monumental proportions, finished with a smooth or polished stone face. Several of the University’s first buildings were built using this style: Memorial Hall, Roosevelt Hall, Reeves Hall, Smith Hall and Wilkinson Hall. In addition to the older buildings, more recently constructed buildings on campus provide an additional range of architectural styles and character. These buildings include Hashinger Hall and Moulton Hall.

Typical of many neo-classical buildings, as well as historical buildings on the University campus and in the Old Towne, are the identifying characteristics of details at doorways, entries and windows. In particular, the breakup of window panes is used to create pattern, texture and scale. The “punched” window is also a treatment used throughout the campus.

The following key elements and criteria are the foundation of these guidelines:

5.4.1 Campus Color Palette

A Campus Color Palette will provide an organizing element for the campus and should include the following:

- Provide colors reminiscent of traditional academic institutions.
- Organize the color palette to acknowledge the different development areas.
- Balance consistency with individuality.
- Provide a thread that ties throughout the campus.

The existing campus identity, in terms of color, material and texture, is consistent with the following neo-classical principles:

- The intentional use of color as the unifying theme.
- The use of the same textured plaster finish throughout the campus.
- The use of neutral-color bricks to tie the campus architecture into the surrounding community and instill a collegial quality into the campus.
- The combination of plaster and limestone accent material, which is reminiscent of materials used on other campus buildings such as the Law School and Beckman Hall, can be used to provide compatibility.

5.4.2 Architectural Direction and Inspiration

Campus buildings are derived from an academic/classical model that is representative of traditional campuses. These model characteristics or patterns include:

- Rectilinear cube-like buildings, in form and mass.
- Classical organization divides the building into three elements:
 - Base - Rusticated stone, material change or color change.
 - Body - Regular placement and grouping of windows in classical format.
 - Capital - Projected parapet/recessed articulated penthouse/elevated lid or roof.
- Strong entry articulation and identity.
- Architectural interpretation is allowed, as long as the design intent is respected.

The architectural design of new buildings should take its cues from the design elements of the existing historical buildings on campus, as well as design principles common to the neo-classical style. The scale and proportion of window groupings, double height elements, and the use of “punched” windows are common elements. An emphasis on a

horizontal building appearance, and the expressed use of a base, middle and top of a building will help to define this style of architecture.

The breakup of the mass is facilitated by introducing a layering of forms against the height of the building. This serves to reduce the building mass and bring the proportions down to a more human and inviting scale. The purpose of this horizontal division is to create more visual interest and reduce the scale of the building.

The following buildings show an emphasis on a horizontal building appearance and expression of a base, middle and top.



Memorial Hall



Wilkinson Hall

5.4.3 Campus Sub-Areas

An identifiable theme can be created around each campus sub-area or quad by considering each quad visually as being a unique college area, in the Oxford University format. The Oxford University format is where the university is a collection of colleges, each around its own quad. Future architectural construction forms and styles should reflect or be derived from the existing permanent buildings. This theme could include architectural, landscape or icon sculpture elements. The various areas and edges of the campus can be treated in a specific manner, as a sub-category of the overall campus appearance.

New campus buildings may exemplify different architectural elements, yet the overall campus character should remain consistent. Each area on campus may establish distinct identities while maintaining an overall compatibility. This has been achieved in the past and should continue in the future through the type of construction, building finishes and colors.

The basic open space design feature of the Academic zones is the placement of major buildings around quadrangles or “quads” so they create definable spaces. This design concept should be respected and reinforced in the design and siting of new buildings. This is not to preclude the use of north-south or east-west pedestrian malls, plazas or curvilinear elements to connect these quads or new expansion areas to each other.

In the Academic 1 zone, new buildings should be carefully integrated and designed to respect the existing character established by the older University buildings. This does not require replication of this style. However, strong contrasting styles, such as Gothic, Spanish Mission and Modern, should be avoided on this part of campus.

A. Glassell Street Corridor

The Glassell Street Corridor, the major north-south street corridor through Chapman University, provides the opportunity to establish an identity for the University. This could be achieved by creating mixed-use infill buildings designed to ultimately replace non-academic buildings on Glassell Street. The Center for the Arts will anchor the east side of Glassell Street between University Drive and Walnut Avenue. The design concept should link Kennedy/Beckman Halls with historic buildings in the immediate area.

B. Memorial Quad

Memorial Quad is the oldest, most formal and historic quad on campus. All the buildings fronting on it are on the National Register of Historic Places.

1. Modifications or additions to existing buildings around this quad should be designed to respect the historic and present geometry of this space.
2. The east-west orientation of Memorial Quad with public views focusing on Memorial Hall from Glassell Street should not be disturbed by future development.
3. The use of Memorial Quad for ceremonial functions such as graduation, University assemblies, outdoor conferences, etc. should be encouraged.



Memorial Quad

C. Shady Quad

As long as the existing buildings front on this open space, Shady Quad should provide linkage to Memorial Quad and Schweitzer Mall and be maintained as permanent open space.



Shady Quad

D. Schweitzer Mall

1. The Schweitzer Mall is the academic crossroads between north-south and east-west pedestrian flows. It should therefore be developed as an informal gathering area and place of interaction.
2. The Schweitzer Mall should be kept free of buildings and maintained as usable open space to allow gatherings, etc.



Schweitzer Southern Mall

E. Griset Grove

1. This area of campus is defined as a Primary gateway to the campus and should be emphasized as a major entry point.
2. Should new buildings be sited at the open end, pedestrian access to Griset Grove from the arrival parking lot should be maintained.



Griset Grove

F. North-South Mall

This informal mall acts as a narrow open space link to the Schweitzer Mall and future development to the north. East-west mall connections to the North-South Mall are encouraged to connect it to primary arrival points and visitor parking areas.



North-South Mall

G. Academic Zone 2

An architectural theme will be developed for the film school which relates to the historical context of film studios. This context includes the sound studios developed in the 1930's and/or television studios of the 1950's, as well as the historical context of the existing industrial buildings. Future development in this area could:

- Acknowledge the turning points in the film/TV industry (i.e., the introduction of sound, television and current digital revolution).
- Reference the great studios of the past, in individual buildings or areas.
- Utilize “front lot/back lot” flexibility for phasing and architectural design.
- Allow the film school’s administrative offices/classrooms to resemble studio corporate offices, while sound stages and associated uses could appear more utilitarian, as found on an actual studio backlot.
- Address surrounding interface with residential neighborhoods, with landscaping using possible historic analogies.
- Extend landscaping to public right-of-ways on both sides of external streets to provide a buffer to the surrounding single-family neighborhood and a pedestrian corridor to the main campus.



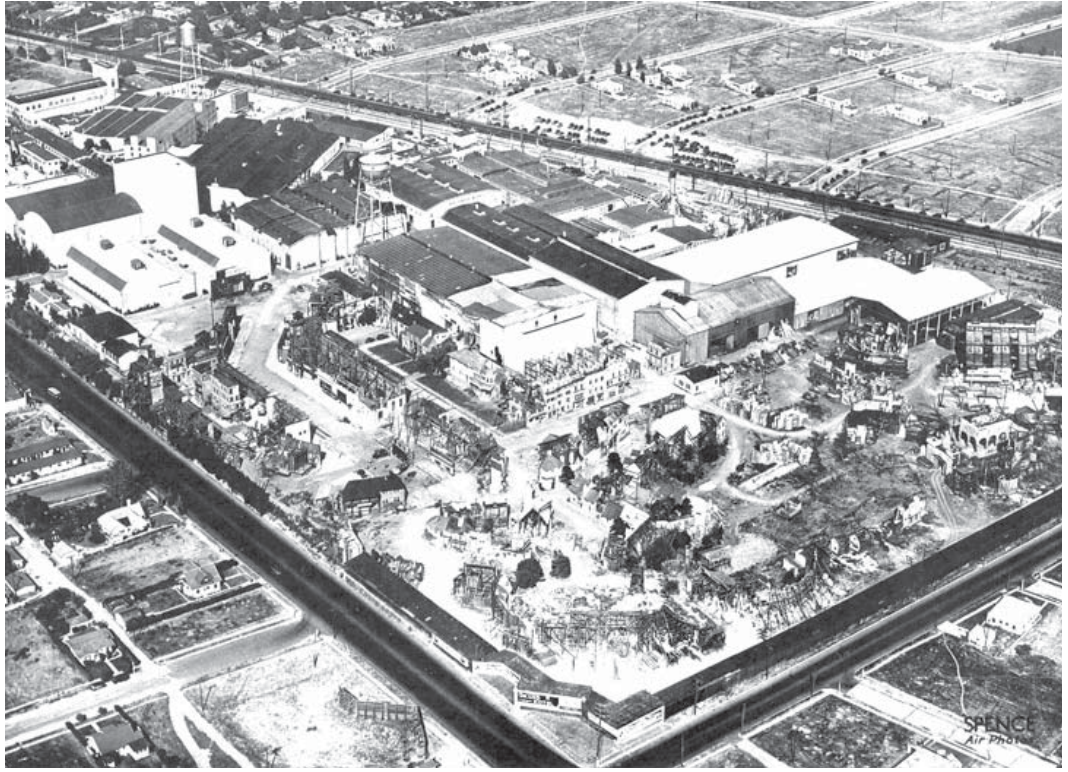
NBC Studios, 1939



Aerial of Paramount Studios, 1920



Paramount Studios, Circa Mid-1930's



Aerial of MGM Studios, 1932



MGM Studios, 1926

H. Residential Zone

In the Residential zone, styles may vary but should be compatible with those buildings in the Academic zones and with each other. As the distance from Academic zones increases, the buildings should provide an increasingly residential character that relates to the immediate surrounding neighborhoods.



Dormitories



Dormitories

5.5 LANDSCAPE ARCHITECTURAL GUIDELINES

It is the intent of the Chapman University Specific Plan to encourage development within the Specific Plan area that is visually consistent and compatible with the historic fabric of the Old Towne District. A landscape concept is essential in achieving a unified development for the overall campus. The intent is to respect the historical and local context of the City of Orange. The continuity is achieved through plant materials and planting character, while diversity is allowed in scale and intensity of the use of those materials. The landscape concept for the campus will apply to all University-owned property and any new property once it falls under the University's ownership.

A Master Landscape Plan for the overall Specific Plan area is currently being prepared. Once completed, the Master Landscape Plan shall be submitted to the City for review and approval. The Master Landscape Plan will include the following as part of the submittal package:

- A plant materials palette,
- The size(s) and spacing of each species of tree,
- A list of specific trees that may be planned along specific streets,
- A color and materials board for use by both the City and the University, and
- Conceptual designs for the plazas, quads, malls and garden rooms.

The Master Landscape Plan shall be adopted by resolution. Future conceptual landscape plans for individual projects within the Specific Plan area shall be submitted to the Community Development Department as part of the Site Plan Review submittal package (see Section 7.3.5, *Site Plan Review Submittal Requirements*).

5.5.1 Hierarchy of Landscape Spaces

The landscape concept for the University organizes the campus open space areas into a hierarchy of spaces that:

- Reinforce the character of the campus.
- Build upon the existing landscape context, including existing trees, plant materials and open space patterns.
- Reinforce the existing vehicular and pedestrian circulation framework.

These landscape spaces consist of gateways, quads, pedestrian malls, garden rooms and pedestrian plazas, as described in this section. Images depicting the suggested concept are included for each type of the landscape spaces.

A. Gateways

Gateways serve to identify the campus entrances for both vehicular and pedestrian entries. The gateways will be designed to:

- Use common pilasters and/or arches to mark the gateway;
- Use symmetrical and/or axial design;
- Plant announcement palms in pairs;
- Incorporate accent lighting;
- Incorporate accent pavement;
- Provide kiosk or directory (optional); and
- Provide campus identification signage.



Schmid Gate - Primary Gateway

B. Quads

The campus includes several quads, including Memorial and Shady Quads. The Specific Plan will maintain these as open space and expand the quad concept. The quads are spaces generally defined by buildings on three or four sides. The quads are intended to:

- Provide flexible space for various activities;
- Serve as gathering spaces for larger groups of 800 to 1,500 people;
- Function as ceremonial spaces;
- Provide a consistent landscape theme that helps to unify the various surrounding architectural styles;
- Use specimen tree plantings;
- Be organized around a central lawn, water feature, sculpture, monument or other prominent landscape feature;
- Incorporate special enhanced paving treatments;
- Provide areas for seating;
- Provide a podium or dias for speeches (required in Memorial Quad; optional in other quads);
- Incorporate the use accent lighting;
- Provide an information kiosk or directory (optional); and
- May include water features and sculptures (optional).



Quad Concept Images

C. Pedestrian Malls

Pedestrian malls are intended to serve as linear spines extending between the various campus buildings. The malls will link together various other open spaces, including plazas, quads, and garden rooms. The malls are designed to include:

- Allees of deciduous trees;
- Broad walkways with enhanced paving;
- Permanent seating (e.g., benches, low walls, or other types of seating); and
- Directional and informational signage.



Pedestrian Mall Concept Images

D. Garden Rooms

Garden rooms are auxiliary spaces that may include formal or informal landscape elements, depending upon where the “rooms” are located. The garden rooms will be generally located next to or near a quad or mall. The rooms will often consist of expanses of turf, and seating areas may be as simple as seat walls, steps or freestanding benches. These areas are ideal for planting drifts of shrubs and ground covers. Accent lighting will be used judiciously on trees and landscape materials to provide an attractive background to the malls and quads at night.

E. Pedestrian Plazas

Pedestrian plazas are smaller in scale than quads, malls or garden rooms. In general, the plazas will incorporate hardscape elements and focal points such as sculptures or kiosks. The plazas will also contain bench seating or walls. The plazas may also include the use of seasonal color in pots, plazas or beds. In addition, accent lighting will be provided at key locations.



Pedestrian Plaza Concept Image

5.5.2 General Landscape Guidelines

1. The landscape concept will encourage a continuation of the University's present picturesque, park-like campus setting.
2. The campus landscape should be diversified and encourage thematic treatments for common areas such as quadrangles, courtyards, entries or major pedestrian ways/malls.
3. Major entry areas and entry monumentation should be highlighted by special landscape treatment to indicate their significance. Formal arrangements are preferred.
4. Special landscape treatment should be used to announce special nodes such as building entries, intersections, etc. Tree species with a vertical shape are encouraged to attract attention and identify these areas.
5. Simple hedges or flowering shrubs with low ground cover masses below as foundation planting are encouraged around the bases of buildings.
6. All planting must comply with City standards regarding variety, spacing, utility and vision clearances and tree maintenance. A permit must be obtained from the Public Works Department, Parkway Tree Division, for all plantings in the parkway area.
7. Plantings within the Specific Plan area shall be designed to reinforce visual and thematic connections between the Specific Plan area and the Metrolink Station at Atchison Street/Maple Avenue, as well as protect the integrity of the Specific Plan area adjacent to the Santa Fe Depot Specific Plan area to the south.

5.5.3 Streetscape Concept

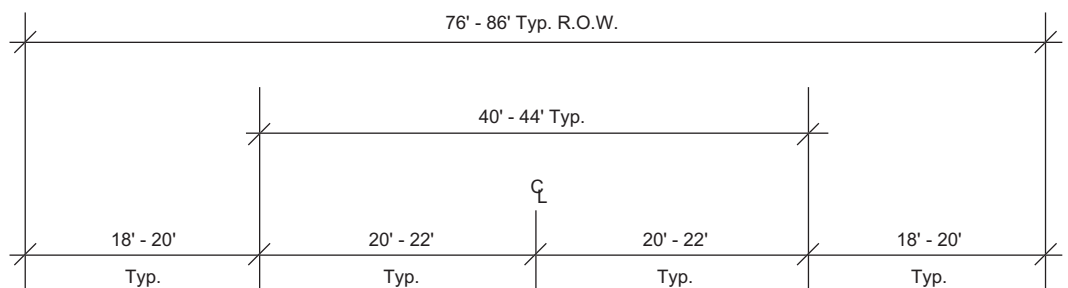
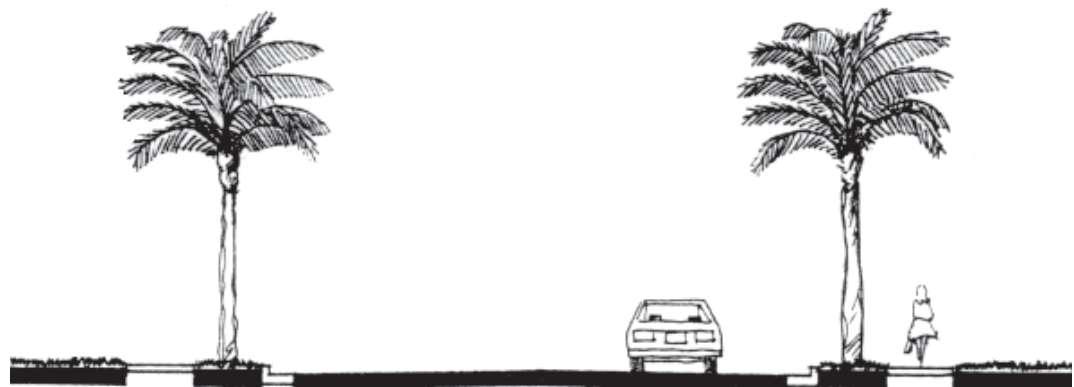
Chapman University shall coordinate with the City of Orange and other applicable agencies to ensure that any and all hardscape, sidewalks, street furniture and street lights improvements within public rights-of-way are compatible with existing conditions and/or approved improvements. Private sidewalks and curbing may include brick pavers, enhanced concrete or other decorative materials. Paving materials should be selected to be compatible in texture, color and style with the surrounding paving.

Streetscape and landscape improvements should provide a continuity throughout the Specific Plan area and reflect the unique character of the University as a part of the Old Towne District. These improvements, including lighting, street furniture, landscaping and street trees, shall be integrated into a cohesive design that reinforces the University's character.

A. Glassell Street

Glassell Street between Maple Avenue and Walnut Avenue is defined as a spoke street in the *Historic Preservation Design Standards for Old Towne*. The streetscape will incorporate the following concepts and guidelines:

1. The street frontage on Glassell Street shall consist of a minimum 5-foot parkway with turf and street tree planting, a sidewalk and a fairly consistent landscape setback behind the sidewalk depending on existing development.
2. The existing relationship of curb, parkway, sidewalk and landscape setback shall be maintained. The parkway planting shall be limited to turf and *Syagrus romanzoffianum* (“Queen Palm”) to provide a unified formality, along with the use of plantings in the landscape setback. Where physical site conditions allow, street trees shall be provided at a maximum spacing of 25 feet on center and allow for coordination with the site plan. Tree height at time of planting shall match the height of the existing street tree palms, where appropriate.



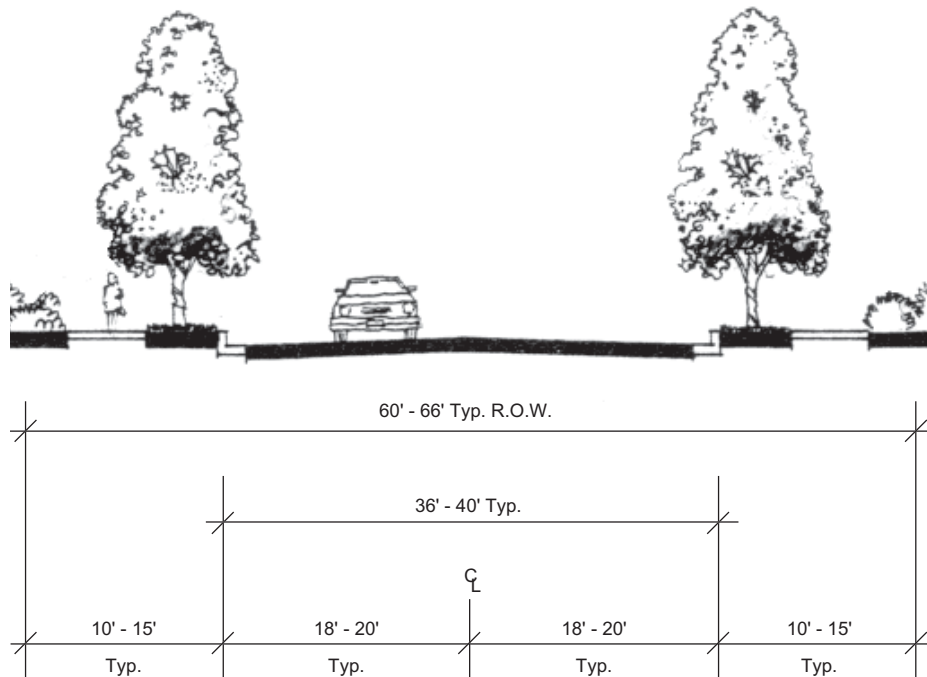
* Cross sections are subject to modification at the discretion of the City Engineer.

Exhibit 5.1, Glassell Street Landscape Concept

B. Maple and Palm Avenues

Maple Avenue, located in the southern portion of the Specific Plan area, has an east-west orientation. Palm Avenue, located at the northerly edge of the Academic 2 zone, also has an east-west orientation. The streetscape will incorporate the following concepts and guidelines:

1. Continue the formal existing street tree pattern of Maple Avenue into the Specific Plan area. Implement a formal street tree pattern of appropriate tree.
2. Provide a landscaped setback zone consisting of a parkway (with turf and street tree planting) and a sidewalk. In addition, a 10-foot building setback from the back of walk is required for future campus buildings.
3. Any future parking structure shall be screened by vertical trees within the building setback zone. Parking lots shall be screened by vertical trees and planting or low walls as described in Section 5.5.4, *Parking Lot Landscape*.



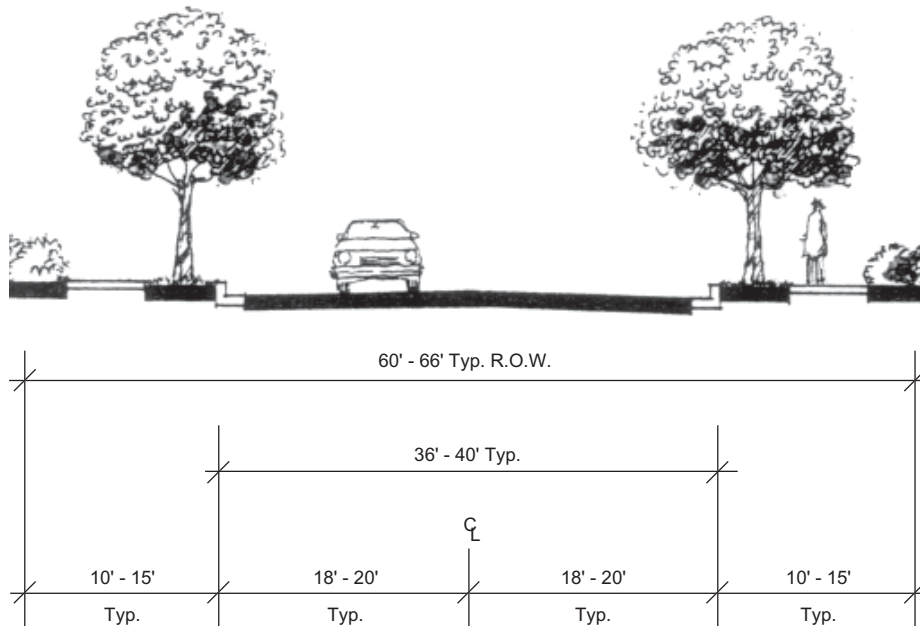
* Cross sections are subject to modification at the discretion of the City Engineer.

Exhibit 5.2, Maple and Palm Avenues Landscape Concept

C. Lemon Street

Lemon Street extends in a north-south direction, connecting the Academic 1 zone with the Academic 2 zone. The streetscape will incorporate the following concepts and guidelines:

1. Continue the formal street tree pattern along the length of Lemon Street.
2. Provide a landscaped setback zone consisting of a parkway (with turf and street tree planting) and a sidewalk. In addition, a 10-foot building setback from the back of walk is required for future campus buildings.
3. Any future parking structure shall be screened by vertical trees within the building setback zone. Parking lots shall be screened by vertical trees and planting or low walls as described in Section 5.5.4, *Parking Lot Landscape*.



* Cross sections are subject to modification at the discretion of the City Engineer.

Exhibit 5.3, Lemon Street Landscape Concept

D. Secondary Streets

The secondary street frontage zone within the Specific Plan area encompasses several streets passing through or bordering the area. These streets are: Shaffer Street, Grand Street, Center Street and Cypress Street in the north-south orientation, as well as Walnut Avenue and Sycamore Avenue in the east-west orientation. Flexible, rather than rigid, development standards are encouraged to match the wide range of different contexts found on the campus.

The objective of the streetscape improvements for these secondary streets is to retain the predominant residential scale and quality despite the adaptive reuse opportunities of the buildings. The standards are, therefore, less restrictive.

E. Street Furnishings

The palette of street furnishings is based on the benches and trash receptacles already in place within the Specific Plan area or surrounding areas. These shall be standard items, coordinated, installed and maintained by the City, University or other responsible agency, depending on the location and type of furnishing.

1. Water Features: These should be placed in or near plazas, or by pedestrian intersections and terminus points.
2. Bollards: The purpose of bollards is to physically separate pedestrians and vehicles in high traffic areas and to protect street furnishings and other streetscape elements.
 - a) Any bollard placed adjacent to a public street should meet placement and design conventions of the regulatory agencies.
 - b) Height should be at a level visible from an automobile as it approaches; between 18 to 42 inches.
 - c) Bollards can include pedestrian lighting.
3. Benches: Place individually or in groups at bus stops, along active pedestrian ways and at key pedestrian crosswalks. Design should be compatible with existing campus benches.
4. Handicapped Facilities: The legal requirement for handicapped facilities shall be met, which includes handicap ramps at intersections.

F. Paving

1. Crosswalks adjoining the campus areas for pedestrian use should have similar or compatible materials and colors to help visually unify the campus.
2. Large expanses of asphalt or plain concrete are discouraged in quads, garden rooms, and plazas.
3. Sidewalks should be constructed of concrete or other durable material(s), subject to Site Plan Review. Concrete within the Old Towne Plaza area should be sealed with a City approved concrete sealant for ease of maintenance and preservation of finish.
4. Bike paths may be constructed of asphaltic concrete or other durable material(s) acceptable to the City as determined during the Site Plan Review. Bike paths should be physically separated from pedestrian walkways where possible.

G. Utilities

All site utilities (gas meters, electrical transformers, telephone pedestals, fire standpipes, irrigation equipment, etc.) shall be located outside the street frontage zone and shall be visually screened to the extent feasible.

H. Irrigation

Low-volume irrigation design and equipment are required for all planted areas within the street frontage zone. All irrigation shall be automatically controlled, and no overthrow of irrigation water onto the sidewalks or other common areas will be allowed. All irrigation backflow prevention devices and any other related structures shall be located outside the street frontage zone and visually screened from the street.

5.5.4 Parking Lot Landscape

Parking lots shall be landscaped and screened from view from public rights-of-way with a 5-foot landscaped setback from the sidewalk, consisting of shrub massings at a maximum 42-inch height to achieve a visual screen. If a wall or fence is utilized, the structure shall be at the parking lot side of the planting area, and shall be softened with plant materials on the street side, including trees, shrubs, groundcovers and vines. No walls shall be allowed immediately adjacent to the sidewalk. The heights of such walls/fences shall be limited to a maximum of 42 inches. Construction of walls shall be limited to brick or split-face or decorative concrete block. Fences shall be limited to tubular steel or equivalent where approved.

5.5.5 Open Space and Recreation

The intent of these design guidelines is to identify the existing characteristics and attributes of the campus open space system, and establish guidance on how future new development should interface. As the campus is built-out, the open space system that currently exists will shift to accommodate future growth. The only exceptions are Memorial Quad and Shady Quad, which have historical significance and shall be preserved as permanent open space. Memorial Quad will retain its formal appearance, with a central lawn bordered by rows of trees and walkways. Shady Quad will retain its informal character, consisting of lawns and specimen trees interspersed by walkways.

A. General Provisions

1. Within open space areas, major buildings may be expanded, provided that:
 - a) The open space integrity is maintained and not so consumed as to threaten its usefulness as a pedestrian linkage, relief from built-up surroundings, informal gathering space or drainage way.
 - b) A minimum 30 percent of open space is maintained on the overall campus.
2. The quad concept shall be reinforced and expanded to include a series of new quads surrounded by campus buildings.
3. Future pedestrian malls and plazas are encouraged. Malls are linear spaces that connect plazas with quads. Plazas are encouraged where malls meet or terminate at quads.



Memorial Quad

4. As the campus is built-out, other design features should be encouraged in the open space network, including water features (fountains, ponds, water jets), gathering areas (amphitheater, plazas), gardens (commemorative, educational, food), seating areas (benches, low walls), and other similar elements providing a park-like image.
5. Pedestrian hardscape elements, including benches, signage, lighting, trash receptacles, etc., should be consistent throughout the campus open space system.
6. The pedestrian and bicycle trail system should conveniently link the various campus buildings and functions.
7. Open space landscape buffers will be provided adjacent to residential and commercial off-site uses.
8. The basic recreational open space framework is the active outdoor play field or court. This design concept should be flexible to respond to the recreation, residential and academic needs on campus. As the campus expands, recreational needs may change and these areas may be relocated.
9. A north-south pedestrian and bicycle linkage connecting the area north of Walnut Avenue to the academic areas of the campus is encouraged.



Recreational Open Space

10. An open space system separate from roadways and parking lots is encouraged to connect residential buildings.
11. Lower intensity recreational uses should be integrated with residential uses wherever privacy is not jeopardized.

5.5.6 Lighting

Light quality must be geared to the specific use of the area. The University community requires warm, simple lighting geared to its distinctive character. Lighting should appear attractive during the day when the pole, base and light add another dimension to the campus scene. Lighting shall comply with the City of Orange Building Security Ordinance No. 7-79.

A. General Guidelines

1. The lighting of the public sidewalks, plazas and alleys, as well as the exteriors, roofs, outer walls and fences of buildings and other constructions and signs visible from any public street, shall be illuminated by controlled lights as permitted herein.
2. Building or roof outline neon tubing is unacceptable.
3. Use of luminescent or reflective exterior wall surfaces is prohibited. Use of luminescent or reflective interior wall surfaces may be permitted subject to approval of the Community Development Director.
4. Building or wall lighting shall be indirect. A limited number of lights may be used to create shadows, relief or outline effects when such lighting is concealed or indirect.
5. Concealed light sources are recommended to avoid glare.
6. It is encouraged that interior lighting within commercial areas shall be left on at night (to the extent that energy use is justifiable) to enhance pedestrian activity on the street.
7. The use of neon, mercury vapor, exposed fluorescent, or exposed high intensity lights are discouraged.
8. Building and landscape accent up-lighting is encouraged.
9. All exterior site lighting (i.e. rear yards or signs) shall be directed inward so as not to disturb adjacent uses.

10. Overhead and exposed wiring and conduit for outdoor lighting is not permitted.
11. Reflectors and shields shall be installed in playing field lighting to minimize spill-light and glare.

B. Building Exterior Lighting

The exterior lighting of public use buildings is intended to give full-time visual appreciation and attract attention to these buildings during the night hours as well as during daylight hours. The lighting of these buildings is often a subtle and dignified, yet highly effective, form of identification.

1. Lighting is part of the architectural vocabulary, and as such should be utilized to help create and dramatize a nighttime image of a structure, sculpture or garden.
2. Historic buildings, such as Memorial Hall, and monuments may be spotlighted as an expression of pride.
3. All building light should be concealed and oriented to shine on the premises only.

C. Street Lighting

1. Streets and intersections will be well-lighted according to City of Orange standards.
2. The traditional acorn-shaped fixture and concrete pole shall be retained as the street light for Glassell Street. All new street lights shall match the existing poles as closely as is feasible.
3. All outdoor street lighting within the Chapman University Specific Plan Area shall comply with the requirements of the Old Towne Master Plan of Streetlights.



Traditional Acorn-shaped Fixture

D. Parking Areas

1. All outdoor lighting, except for playing field lighting fixtures, shall be focused, directed and arranged to prevent glare and illumination on streets or adjoining property.
2. The parking areas shall be well lit for security reasons.
3. Appropriate lighting methods will be used to reduce the impact of lighting on top floors of parking structures, while meeting safety and security requirements.



Typical Parking Area Lighting Fixtures

E. Walkway, Trail and Path Lighting

1. Low level “pedestrian“ lighting should be installed at selected intersections along walkways, trails and paths.
2. Taller lights are allowed along major walkways or plazas. Existing lights may remain.
3. Historic globe pathway lights presently in place around Memorial Quad will be maintained and replaced in kind when necessary.



Historic Globe in Memorial Quad



Pathway Lighting Fixture

5.5.7 Walls and Fences

Walls and fences are an integral part of the University's architectural form. A wall and fence concept is important to provide security, privacy and a sense of enclosure and ownership for the University. These guidelines are intended to give direction for the location and height of walls and fences.

A. General Provisions

1. Walls and fences should be designed so that they are compatible and contribute to the overall architectural theme.
2. Care should be taken to provide privacy on the bedroom side of residences and dormitories.
3. Fences and walls located in side and rear yards shall not exceed 6 feet in height, unless otherwise permitted in this Specific Plan. Where there is a difference in grade between adjacent properties, the maximum fence height shall be 6 feet as measured from the high grade side and 9 feet as measured from the low grade side. Fences and walls around the Chapman University School of Film and Television backlot may exceed six (6) feet in height, subject to review and approval by the Community Development Director (refer to Section 6.4.1, *Specific Plan Area-wide Standards*). Appeals to wall and fence heights shall be made to the Planning Commission.
4. When a change in pad elevation occurs, the wall or fence should be stepped in equal vertical intervals. No one step may be less than 8 inches or more than 24 inches in difference. Non-vertical (sloped) walls are allowed if non-vertical length is 10 feet or less.
5. Joints and weep holes shall be placed in walls as required by a structural engineer.
6. All perimeter walls and fences should be placed at the edge of the public right-of-way. Exception: entries may be set back to draw people in. Any fences within the required landscape setback shall be no greater than 42 inches in height.
7. The color, texture, pattern and dimensions of masonry columns and bases, and the color, width, type and elevation of mortar joints in a fence column or base must match the masonry and mortar joints of the adjoining building as nearly as practicable.
8. Metal and tubular steel fences must be compatible with the overall campus style. All tubular steel fencing or equivalent should be painted to complement the primary building color or black and may include the Chapman University logo if desired.
9. Acceptable materials include concrete block, metal or steel, or combination thereof.

10. The use of chain link should be avoided, except as fencing around athletic areas.

B. Solid Perimeter Walls

Refer to Section 6.4, *Campus Development Standards*, for wall requirements.

C. View Fencing or Combination Wall/Open Metal Fences

All-view fencing is open fencing designed to permit views and promote a sense of openness, while providing security. It shall be constructed of tubular steel or equivalent material(s). If a combination solid block wall/view fence is erected in lieu of all-view fencing, then decorative pilasters shall be interspersed along the length of the wall at key locations. No pilasters are required on all-view fencing. All-view fences shall have pickets spaced according to city, state and federal standards and building codes, and shall be painted to complement the primary building color or black.

1. View fences or open metal fences are appropriate at the campus perimeter where views into the campus are desired.



Typical Wrought Iron Fences

2. Placement of view or open fences at the campus perimeter is encouraged but not required.

5.5.8 Art-in-Public-Places

This Specific Plan includes an Art-in-Public-Places program that is designed to promote the involvement of artists in projects on campus. The projects will enhance the physical environment by celebrating Chapman University’s unique character and identity. In addition, the program will create artistic harmony between the campus buildings, landscaping and open spaces.

The goals of the Art-in-Public-Places are as follows:

- To add to the cultural heritage of Chapman University and the City of Orange through aesthetic enhancement of the campus and the surrounding community.
- To make durable art of excellent quality available to students, faculty and the community-at-large to stimulate intellectual and artistic growth.
- To create focal points within the campus for the enjoyment and contemplation of fine art.
- To enhance the stature of Chapman University and the City of Orange by defining its commitment to artists and to the creative process as a vital element of urban dynamics.



Art-in-Public-Places

The guidelines for Art-in-Public-Places are as follows:

1. At its option, the University may elect to commission artists to create works to be integrated into the buildings, plazas, garden rooms, quads and malls on campus.
2. All art used in exterior areas shall be constructed of durable all-weather materials including, but not limited to, glass, metal, paint, wood, stone, brick and other similar materials.
3. The art may be created using a variety of mediums and techniques and be as fleeting as sprays of water or as permanent as bronze. Examples of items qualifying as art include: water features, decorative paving and mosaics, murals, sculptures, decorative carvings, ornamental benches, special light shows and other items of a unique and high quality nature that embody artistic elements.
4. Each piece of art shall be designed to enhance or complement the outdoor area or building to which it relates.
5. The University shall have the right to choose all art on campus, although the University shall go through Design Review prior to installing any art on the outside of or surrounding any building on campus.
6. Art is encouraged to face public rights-of-way and streets to help beautify the community and make art accessible to everyone. Art may be placed in the front setback areas along the streets.
7. Art shall relate to the context of the surrounding area, and/or to the architecture and use of the closest building.



Art-in-Public-Places

5.6 PARKING GUIDELINES

5.6.1 General Criteria

1. Use of required front yard area for off-street parking or vehicle storage is prohibited, except with approval of the Design Review Committee and the Community Development Director during the Site Plan Review Process.
2. Vehicular access to parking lots should be clearly marked with clear distinctions between long-term and short-term parking, through curb painting or signage.
3. Circulation between levels of the parking structure shall occur internally, so automobiles do not have to use adjacent streets to access different levels.
4. Design parking areas to minimize the need for pedestrians to cross parking aisles and to reduce pedestrian-vehicle conflict.



Typical Parking Lot Walking Space

5.6.2 Surface Parking Lot Criteria

1. Parking lots shall incorporate landscaping to minimize views from public rights-of-way.
2. Large areas of asphalt or concrete paving for parking lots can be uninteresting and can deflect heat into nearby buildings. Lots will provide 10% landscaping (with ground cover and shade trees) to reduce exposed paved surface areas.
3. Provide linkages between parking lots of adjacent developments, where feasible, to minimize turning movements and traffic congestion on the adjacent streets. Where this occurs, applicants shall demonstrate provisions for reciprocal easements between owners to accommodate these linkages.
4. Locate parking areas to the rear of buildings or screen from adjacent streets with walls and/or landscaping.
5. Provide shared entries for adjacent parcels, where feasible, to limit the location of turning movements and improve traffic flow on adjacent streets.



Typical Parking Lot Landscape Setback

5.6.3 Parking Structure Criteria

A. General Criteria

1. Pedestrian and vehicular entrances shall be clearly identified and easily accessible to minimize pedestrian/vehicle conflicts.
2. Parking structure circulation will be evaluated and considered regarding its potential impacts on adjacent streets.
3. Use hedges and tall trees with a vertical form to reduce the impact of parking structures in the public view.
4. Minimize the view of parked cars inside through a combination of visual barriers, planting or other means. Use evergreen plant materials to provide year-around screening.
5. Articulate the elevations of parking structures visible from public streets through indentations in the structure, changes in color, addition of applied elements to the structure surface or other similar devices.
6. Parking structures are encouraged to be stepped back or terraced above the second story to visually reduce the overall mass and scale of the structure. For parking structures located adjacent to a residentially zoned district, an expanded setback shall be required. This expanded setback shall be twice the required yard setback as specified in Section 6.4.1, *University-wide Standards*, of this Specific Plan, and shall be planted with evergreen trees to screen the parking structure. Deciduous trees are permitted within the setback; provided, however, that the garage is screened by evergreen trees.
7. Balance both vertical and horizontal elements in the articulation of parking structure facades.
8. Structure design shall incorporate clean, simple, geometric forms and coordinated massing that produce overall unity and interest.
9. Structure details shall reinforce the overall design character and scale of the campus and adjacent neighborhood. Appropriate treatments include coordinated mullions and details, finishes commensurate with the building materials, and coordinated entry spaces and landscaping.
10. Appropriate lighting methods will be used to reduce the impact of lighting on top floors of parking structures while meeting safety and security requirements.

B. Safety and Security Considerations

To maximize public safety in the parking structures, the following design features are encouraged:

1. Open, glass stairwells and glass-backed elevators.
2. Security devices such as video, audio and emergency buttons that call into the booth, campus security or local police station.
3. Public telephones.
4. Eliminate potential hiding places, such as under open stairs.
5. Energy efficient lighting is encouraged to ensure that the interior of the parking structure is well lighted. To minimize spill lighting out of the garage onto surrounding uses, structures should be designed to incorporate a mixture of natural daylight, interior lighting, and exterior control features (screening, etc.). All lights should be vandal resistant and easy to maintain.

C. Aesthetic Considerations

To ensure that parking structures minimize their visual impact on surrounding neighborhoods and uses:

1. Encourage parking structures to incorporate select design elements or features reminiscent of surrounding architecture.
2. Use landscaping and variations in architectural materials, forms and scales to enhance the garage facade along local streets.
3. Provide evergreen landscaping to help screen parking structures adjacent to streets and residential areas.
4. Architecturally reduce the massing and scale of parking structures along its façade through the use of planters, textures, colors, design features and public art. Consider using poured concrete to create decorative textures and 3-D murals at ground level that, while subtle, add significantly to the overall appearance of the parking structure.
5. Design stairs and elevator cores, which are visible from outside the structures, to be decorative and aesthetically pleasing.
6. On the ground floor of parking structures, provide periodic vertical openings at key locations to allow for a more open, safe and inviting parking experience and more convenient pedestrian movement.

5.7 SIGNAGE GUIDELINES

It is the University's intent to provide functional and aesthetic signage to direct, identify and inform the public as they enter the University. The Specific Plan's signage shall comply with Chapter 17.36, Sign Regulations, of the City of Orange Zoning Ordinance, except as otherwise provided in this Specific Plan.

5.7.1 General Provisions

All signs on the campus shall conform to the following provisions:

1. Signs shall conform to the provisions of Chapter 17.36 of the City's Zoning Ordinance and the development standards set forth herein. Where there is a conflict, the standards and guidelines in this Specific Plan shall take precedence. In instances where this Specific Plan is silent regarding specific signage criteria, the provisions contained in Chapter 17.36 of the City's Zoning Code shall apply as applicable.
2. Existing monumentation, as well as building/building complex signage, shall remain because of historical significance and written commitments with donors.
3. Perimeter signs and entry monumentation consistent with the approved sign program shall be submitted to the City's Community Development Director to verify compliance.
4. A sign shall be defined as any wording used to name, describe or direct, including parts, materials, frames and backgrounds.
5. All sign definitions in Chapter 17.04 of the City's Zoning Ordinance shall apply.
6. All signs and their supporting structures shall comply with the Uniform Building and Electrical Code.
7. No signs, unless lawfully permitted, shall be placed upon, or project into or above, public property or right-of-way, except as noted herein and approved by the Design Review Committee.
8. Sign placement shall not compete with other signs for attention. Should several signs need to be located in close proximity, they should be consolidated or prioritized by size.
9. Signs may be double-faced, provided both sides have identical information.
10. Signs may be lighted. However, no light that flashes, blinks or effects changes in hue or intensity of illumination shall be permitted. Illumination sources for the sign shall be hidden from view.

11. **Surface Area Computation.** The surface area of any sign face shall be computed from the smallest rectangles, circles and/or triangles which will enclose all words, letters, figures, symbols, designs and pictures, together with all framing, background material, colored or illuminated areas, and other attention-attracting devices forming an integral part of the overall display, but excluding all support structures. The four-line method is used to form a rectangle around all logos and sign text. The square footage is calculated by multiplying the height by the length of the rectangle.

12. **Material and Color.** An effort shall be made to achieve consistency between building style and sign design. In all cases, signage shall be compatible with the exterior treatment of the building or location, identified with similar or complimentary building materials to be used.

13. **Color schemes for signage** will be determined in design development and shall relate to other signs, graphics and color schemes in the vicinity, in order to achieve an overall sense of identity.
 - a) Florescent or iridescent paint materials are not acceptable.
 - b) The number of colors per sign shall be three or less, excepting logos, which may have additional colors.

14. **Setbacks.** Varies depending on sign function, readability and traffic safety considerations. In all cases, signs shall not be located within the public right-of-way unless City staff and Chapman University agree that circumstances require.

15. **Letter Style.** Letter style of all perimeter signs shall be compatible with the historic character of Old Towne. The following type styles and variations of these styles (e.g., italics, bold, regular, narrow, etc.) are permitted:

Century Schoolbook Bold
abcdefghijklmnopqrstuvwxy
ABCDEFGHIJKLMNOPQRSTUVWXYZ
1234567890\$?!\$(,;:)"'/^"

Helvetica Regular
 abcdefghijklmnopqrstuvwxy
 ABCDEFGHIJKLMNOPQRSTUVWXYZ
 1234567890\$?!\$(,;:)"'/^"

Antique Olive SemiBold
abcdefghijklmnopqrstuvwxy
ABCDEFGHIJKLMNOPQRSTUVWXYZ
1234567890\$?!\$(,;:)"'/^"

Broadway

**abcdefghijklmnopqrstuvwxy
 z
 ABCDEFGHIJKLMNOPQRSTU
 VWXYZ
 1234567890\$?!\$({,:;)"'"/^"**

Windsor Bold

abcdefghijklmnopqrstuvwxy
 z
 ABCDEFGHIJKLMNOPQRSTU
 VWXYZ
 1234567890\$?!\$({,:;)"'"/^"

Futura Medium

abcdefghijklmnopqrstuvwxy
 z
 ABCDEFGHIJKLMNOPQRSTU
 VWXYZ
 1234567890\$?!\$({,:;)"'"/^"

Palatino Linotype

abcdefghijklmnopqrstuvwxy
 z
 ABCDEFGHIJKLMNOPQRSTU
 VWXYZ
 1234567890\$?!\$({,:;)"'"/^"

Additional lettering styles and fonts may be permitted within the Chapman University Specific Plan area, subject to approval by the Director of Community Development and provided that the styles/fonts are compatible with existing fonts represented within the Old Towne area or on the Chapman University campus.

16. No building shall be deemed to have more than four building elevations.

5.7.2 Perimeter Signs

Perimeter signs are proposed for locations where the campus interfaces with the surrounding community. The perimeter areas are within 100 feet of public streets and in view of public areas. These guidelines are intended to provide the community with quality assurances that will direct the type, size, location and number of signs placed in the perimeter area.

The overall character of the perimeter signage should be compatible with the historic character of Old Towne and reflect a quality campus image, with an emphasis on function and aesthetics. The signage program, along with landscaping, will be used as a unifying element for Chapman University.

Perimeter signs are organized into the following categories:

- University Identification Signs
 - Primary Entry Identification Signs or Monumentation

- Secondary Entry Identification Signs or Monumentation
- Freestanding Vertical Building/Zone Identification Signs
- Building Identification/Wall Signs
- University Directional Signs
- Marquee Signs

A. Perimeter Sign Development Standards

1. University Identification Signs. University identification signs shall be located at primary and secondary arrival zones into the campus. The signs shall be used to identify the campus and/or its significant components.
 - a) Primary Entry Identification Signs or Monumentation
 - 1) Description: A primary entry is defined as a major vehicular entry to the campus intended for entry by the public and visitors, as well as University students and employees. Primary entry monuments are the largest monuments on campus, with the exception of the existing monument on North Glassell Street near Palm Avenue.
 - 2) Location: At primary entries.
 - 3) Size: 4-foot height maximum if the sign is a horizontally oriented ground mounted sign. Entry identification may also be included on building walls, street arches, or other structures consistent with traditional academic forms.
 - 4) Copy Area: 48 square feet maximum per elevation.
 - 5) Number: One or two per intersection or entry. The sign may display the University logo.



Primary Entry Monument

- 6) Signs/monuments may be externally lighted (e.g., halo and reverse channel signage is permitted).
- b) Secondary Entry Identification Signs or Monumentation
 - 1) Description: A secondary entry is defined as limited vehicular entry intended for use by University students and employees and the public. Secondary entry monuments are, therefore, less prominent and smaller than primary entry monuments. Secondary identification signs could include wall signs.
 - 2) Location: At secondary entries.
 - 3) Size: 4 feet height maximum if the sign is a horizontally oriented ground mounted sign. Entry identification may also be included on building walls, street arches, or other structures consistent with traditional academic forms.
 - 4) Copy Area: 32 square feet maximum.
 - 5) Number: One per intersection or entry. The sign may display the University logo.

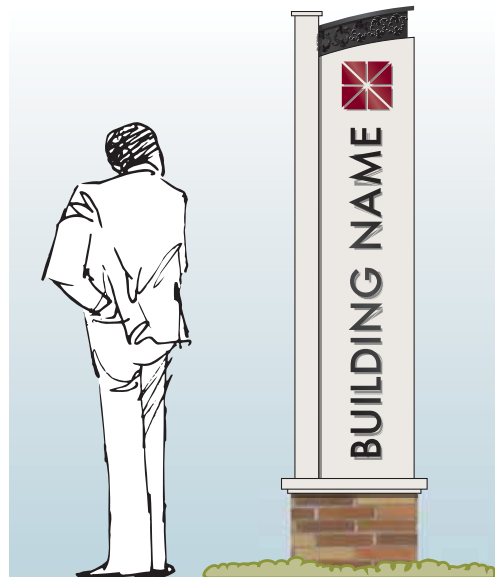


Secondary Entry Monument

2. Freestanding Vertical Building/Zone Identification Signs. These signs shall be located near the building entrances to the Center for the Arts. These signs will be used to help visitors identify the Center for the Arts building.
 - a) Description: Freestanding vertical identification signs are intended to provide on-site building identification. These signs may be double-faced (i.e., Copy may be on opposite sides of the sign). In calculating the area of signs, only one side of a two-sided sign shall be counted, so long as the parallel planes are not more than 20 inches apart.
 - b) Location: The location of the signs shall be in conformance with adopted City of Orange code.
 - c) Maximum Size: 2'-6" (width) by 2'-6" (depth) by 8 feet (height).
 - d) Maximum Copy Area: Up to 16 square feet maximum (each side). Copy is permitted on up to two sides of each vertical sign at the discretion of Chapman

University. Each sign may display the Chapman University logo and logotype on up to two sides.

- e) **Number:** A maximum of two signs are permitted for the Center for the Arts. The two signs shall be located on different elevations.
- f) **Material and Color:** Signs shall be constructed of fabricated aluminum with black leaf filigree detailing and brick base (brick colors may vary to reflect nearby buildings). As an option, an alternate sign with no base shall be permitted in all areas. Sign shall be white or off-white with red logo to match Chapman University colors. The color of the font on the sign will be black or dark bronze. Decorative elements on signs are expressly permitted. All filigree detailing shall be approved by the Community Development Director.
- g) **Lighting:** Signs shall be internally illuminated with halo-lit letters and the Chapman University logo.



Freestanding Vertical Building / Zone Identification Sign

3. **Building Identification/Major Wall Signs for the Center for the Arts.**
 - a) **Description:** Major signs located on building walls that identify the building name and donor(s), as well as the related facilities that are located inside the Center for the Arts building.
 - b) **Location:** These signs shall be installed upon a vertical surface, and shall not extend beyond the lateral edges of the Center for the Arts building.
 - c) **Size:**
 - 1) **Height.** Sign height shall not exceed a dimension that is greater than two-thirds (2/3) of the height of the vertical surface (or plane) upon which it is located, so that the sign is sufficiently buffered by space at the top and bottom. Multiple lines of text and logo shall be contained within this requirement.

- 2) Depth. Building identification/wall signs, including any light box or other structural part, shall not project more than 12 inches from the surface on which it is installed.
- d) Maximum Total Sign Area per Elevation: Total signage per elevation shall not exceed one square foot of sign area per linear foot of the building elevation on which it is installed.
- e) Number: Up to two major signs per building elevation, provided that no more than four building identification/major wall signs shall be permitted per building. This limitation on number of signs applies only to permitted signs located within 100 feet of public streets.

4. Minor Wall Signs for the Center of the Arts.

- a) Description: Minor wall signs are located on exterior building walls, beams, or similar architectural features and identify the donor names for rehearsal halls, meeting rooms, auditoriums, and other facilities that are located inside the Center for the Arts building.
- b) Location: These signs shall be installed over or adjacent to doorways, windows, or similar architectural features contiguous to the facility being named on a vertical surface, and shall not extend beyond the lateral edges of a building.
- c) Size:
 - 1) Height. The lettering height shall not exceed 12 inches.
 - 2) Depth. Minor wall signs, including any light box or other structural part, shall not project more than 6 inches from the surface on which it is installed.
 - 3) Maximum Sign Area: Total area per sign shall not exceed 12 square feet.
- d) Number: Up to three minor signs per building elevation, provided that no more than nine minor wall signs shall be permitted for the Center for the Arts building.
- e) Lighting: At the discretion of Chapman University, minor wall signs may be internally lighted, externally lighted, or unlighted.

52. University Directional Signs. University directional signs shall be located near primary and secondary entry points into the campus. The signs will be used to direct visitors to significant locations, buildings or areas on the campus.

- a) Description: Freestanding signs intended to provide on-site directional information. These signs may be double-faced.
- b) Location: Typically at or in close visual proximity to entries, exits, intersections, visitor parking and strategic places along pedestrian vehicular routes.
- c) Size: 6 feet 6 inches height maximum.
- d) Area: 24 square feet maximum.
- e) Number: The number of such signs will be determined on a case-by-case basis. One or two per intersection or entry. The sign may display the University logo.

63. Marquee Signs (includes Perimeter Marquee Signs located within 100 feet of any public street; does not include internal marquee signs)
- a) Description: These signs will provide information for the Waltmar Theater and proposed theaters, the Center for the Arts, and other venues in the Academic 1 and 2 Zones. These signs would be internally illuminated and have a changeable copy board. Manual message signs are allowed for all marquee signs permitted by this Specific Plan. Only the Center for the Arts marquee sign shall consist of an electronic copy board.
 - b) Marquee Sign Locations:
 - 1) The planter on the south side of the Waltmar Theater facing Palm Avenue;
 - 2) In the Academic 1 Zone on the east side of Glassell Street, between University Drive and Walnut Avenue;
 - 3) In the Academic 2 Zone on the south side of Palm Avenue; and
 - 4) At the corner of Maple Avenue and Lemon Street.
 - c) Maximum Size: 14 feet long and 10 feet high.
 - d) Maximum Area: Maximum sign area would be 140 square feet (each side), usable copy area would be approximately 40 square feet. All signs may be double sided at the discretion of Chapman University. In calculating the area of signs, only one side of a two-sided sign shall be counted, so long as the parallel planes are not more than 20 inches apart.
 - e) Number: Two in Academic 1 Zone, two in Academic 2 Zone.
 - f) Sign Design: At the discretion of Chapman University, signs may be either two-sided freestanding signs with messages permitted on both sides, or a one-sided building mounted sign with messages on one side.
 - g) Freestanding Marquee Sign Height: 20 feet maximum height.
 - h) Building-Mounted Marquee Sign Height: Top of sign at 30 feet maximum.
 - i) Message Display: The Center for the Arts changeable marquee sign or display shall not depict or simulate any sound, motion, or video (i.e. video clips, flashing,



Directional Sign



Marquee Sign

animated, roller or running letters or messages, varying intensity of color, etc.). Any slide (image and text) shall be displayed for a minimum of 30 seconds and transitions between slides shall not be less than one second. Continuous motion of messages is not permitted. The sign shall only show events related to the Center for the Arts and the College of Performing Arts (COPA). The sign shall not advertise off-site businesses or organizations. Other electronic sign options not discussed in this section shall be determined by the Community Development Director.

B. Perimeter Sign Development Process

Perimeter entry identification signs and monumentation consistent with the Specific Plan shall be submitted to the City of Orange Community Development Director to verify compliance with this Specific Plan and Chapter 17.36 of the City’s Zoning Ordinance.

5.7.3 Internal Signs

Internal signs are defined as those being at least 100 feet from the surrounding public streets and areas, and intended to be viewed by persons on the campus. These guidelines are intended to provide the community with quality assurances that will direct the type, size, location and number of signs placed in the internal areas of the campus.

The overall character of the internal signage should be compatible with the historic character of Old Towne and reflect a quality campus image, with an emphasis on function and aesthetics. The signage program, along with landscaping, will be used as a unifying element for Chapman University. Interior campus signs will be more flexible in design and will be governed by the City’s Sign Ordinance.

Internal signs are to be used for the following purposes:

- Directional Signs
- Building Identification/Wall Signs
- Traffic Regulation Signs
- Parking Signs
- Location Marker and Directory Map Signs
- Marquee Signs

A. Internal Sign Development Standards

Signs established for use internally within the campus will generally be smaller in size and pedestrian in scale. Size, height and other criteria will be determined by the scale of the fixture or facility it is attached to or associated with, and by the distance from which it is to be seen. Most signage will be no more than 8 feet high above grade (4 feet if freestanding) and no more than 4 feet in any dimension.

B. Internal Sign Development Process

Signs placed internal to the campus may be installed without Community Development Department review as provided in Chapter 7.0, *Implementation*, except for marquee signs. The design and location of marquee signs shall be submitted to the Community Development Director to verify compliance with this Specific Plan and Chapter 17.36 of the City’s Zoning Ordinance. It is encouraged that all internal signage be consistent in design, material, color and theme. When required by the Uniform Building Codes, permits shall be obtained prior to construction.



Building Identification/Wall Sign



Parking Sign

5.8 HISTORIC PRESERVATION AND ENHANCEMENT GUIDELINES

5.8.1 Evaluation of Historic Resources

All structures identified in Exhibit 1.4, *Contributing Resources on National Register of Historic Places*, shall have a resource evaluation prior to being rehabilitated, relocated or demolished. These actions are subject to environmental review in accordance with the City's Local CEQA Guidelines (Appendix F), and must be consistent with the Specific Plan regulations/guidelines and the Secretary of the Interior's Standards for Rehabilitation (included in Appendix J). Documentation of significant alteration, relocation and demolition of said structures shall be required in accordance with the Historic American Building Survey/Historic American Engineering Record (HABS/HAER) documentation requirements, as discussed in Chapter 7.0, *Implementation*, of this Specific Plan.

5.8.2 Adaptive Reuse

The term "adaptive reuse" applies to historic buildings which were originally designed for a specific use and which are being converted (or adapted) for a new use. Adaptive reuse presents a number of special problems because the needs of the new use (such as increased parking, air conditioning, increased exiting, handicapped access, added floor area, etc.) are often substantially different than the old use and yet must be accommodated within the same building. The overriding principle of design for adaptive reuse is to be consistent with the significant historical design of the building, wherever that design can be determined. Where historic records are not available, the building design should follow the designs typical of that era and architectural style, particularly following any buildings in the immediate surrounding area, which were built in the same era and style.

1. Maintain the Primary and Significant Facades: Air conditioning units, mechanical equipment, stairways, new exits, additional windows or other such elements shall be added to the least visible portions of the building (generally the rear). The primary facades shall not be modified.
2. Design Reversible Change: Preserve the significant historic features of the building by designing changes which can be reversed if the building were restored in the future (i.e., adding a skylight).
3. Preserve the Historic Character: Any new additions or changes to the original structure shall preserve the historic character of the original by maintaining the overall shape, materials, colors, setting, side yard setback pattern, building height, craftsmanship and window arrangement. Adding additional stories to an existing building is not acceptable for smaller structures. Design of a separate, new addition should reflect the significant architectural elements of the original building, including proportions and materials. The new addition should be detached from

the original with pedestrian connectors, where needed. Additions and detached new construction shall be compatible in height and massing so as not to dominate the principal historic resource on the site.

4. **Distinguish Between Old and New:** Where new additions are proposed, a line of demarcation or offset is required to differentiate between the original structure and the new addition. While new additions or alterations should be compatible in design, they shall not exactly replicate the historic design. An exception is that very minor modifications may replicate the building's style if it is designed to be consistent with other buildings of that style.
5. **Consider Allowances:** In some cases of extreme hardship, the City may consider adjustments to zoning requirements in order to preserve an important historic resource and provide a renewed economic vitality through adaptive reuse, such as encroachments into side or rear yards. In addition, the City of Orange recognizes the *State Historical Building Code* (Title 24, Building Standards, Part 8) which allows alternative solutions to the *Uniform Building Code* (UBC), at the discretion of the Building Official. Often historic materials not recognized by the UBC can be allowed, or existing exiting can be retained by implementing the provisions of the *State Historical Building Code*. The use of alternative materials is additionally referenced in Appendix F, *City of Orange Local CEQA Guidelines*.

5.8.3 Mass, Height and Scale

Be consistent with the significant architectural style of the building. The “significant architectural style” of the building is that style which existed when the building gained historical importance. Most of the time, the “significant style” is the *original* style when the building was first built. Occasionally, a building gains historic importance after additions are made - then the additions are part of the significant architectural style. Research may be needed to determine which of the styles were significant for the subject building. If the “significant style” has been changed by non-historic alterations and research cannot determine the building's earlier appearance, then the rehabilitation should be consistent with the design of other buildings in the area which are approximately the same age and architectural style as the subject building was before the non historic alterations. The resultant design for the subject building should be consistent with its significant architectural style and not a compromise between, or an amalgam of, various adjacent styles (see criteria in Section 5.2, *Context Planning*).

1. **Use Similar Massing:** The massing shall remain consistent with relevant buildings within the Specific Plan area. Where the massing within the Specific Plan area emphasizes a simple block form, variations to this form are encouraged to break-up large solid wall surfaces. Radically different massing, such as A-frames, is discouraged.
2. **Retain Scale of Components:** The scale of proposed buildings and building components shall remain consistent with the applicable buildings in the Specific

Plan area. Building components such as windows and doors shall be considered in respect to each other, the entire new façade, and the scale of these elements found in appropriate buildings within the Specific Plan area.

3. **Maintain Similar Proportions:** The proportion of the major elements of a building, including windows, doors and storefront design, where appropriate, shall be complementary to the proportion found between similar elements in suitable buildings in the immediate surrounding area.

5.8.4 Building Design

1. **Respect the Original Design:** Building design represents the design philosophy and technology of a specific time. Rehabilitating a historic building shall not strive to create a preconceived concept of a “historic building,” but should reuse the existing materials and design.
2. **Retain and Restore Original Elements:** Original elements of design shall be maintained and, where necessary due to damage or deterioration, be recreated. In the event that signs or previous renovations have covered these elements, they shall be uncovered. The elements of design include such items as original wooden double hung or casement windows; decorative railings, moldings or trims; and terra cotta panels. Distinctive stylistic features shall be retained, uncovered and restored.
3. **Replace Lost Features:** Damaged architectural features shall be repaired rather than replaced whenever possible. The repair of historic materials begins with the concept of minimally affecting the remaining original historic materials.
 - a) Patching, piecing-in and splicing should be performed when possible rather than replacement.
 - b) If replacement is necessary, the new material should match the material being replaced in terms of design, color, texture and other important design features.
 - c) Replacement of historic elements should be made with the original material whenever possible. When necessary, substitution may be made in form, design and material when the substitute material conveys the visual appearance of the original feature.
 - d) When an entire feature is missing, it should be replaced by researching historic or pictorial documentation (available at the planning department, library or by contacting the Orange Community Historical Society). If accurate data is not available, a new design that is compatible with the size, scale and material of the remaining features of the building may be used.
4. **Accept Evolution:** Buildings that have been altered as a part of a natural evolution are evidence of the history of an area, and often these changes have a significance

that should be retained. Since these buildings have attained historical importance with their altered facades, it is not a requirement of these standards to recreate the original facade.

5. **Minimize Alterations:** Alterations or additions to a historically significant building may be necessary to insure its continued use. These changes should not alter, obscure or destroy historically significant features, materials, forms or finishes. Facade changes should be considered only after closely evaluating alternate means of achieving the same end. For example, skylights can be used to allow natural light rather than cutting in new windows, which would disrupt the facade, or interior seismic bracing can be used rather than exposed exterior bracing which would obscure the facade.
6. **Limit the Disruption of Additions:** An addition should complement and not overshadow the original design in mass and scale, but should not try to replicate the exact historic appearance. Additions should be connected to historical buildings so that the addition may later be removed without destroying any original material.
7. **Cleaning Facades:** The cleaning of historic facades should always be approached by employing the gentlest methods possible first, and then increasing the severity of treatment as necessary. Brick masonry and terra cotta should never be sandblasted to clean or remove paint. Many times simple water, mild detergent and bristle brushes will provide adequate cleaning of these materials. If these methods are inadequate, pressurized steam and, if necessary, a mild solution of muriatic acid with the steam cleaning may be used. Often during the course of cleaning historic buildings, it is necessary to repaint the mortar to remove deteriorated material or replace missing material. Care should be taken to match the existing strength, color and appearance of the original mortar. Wood should never be sandblasted, because the texture created will be inconsistent with the original appearance of the material. Paint can be removed from wood by sanding, scraping, chemical solutions or with a heat gun. Metals on historic buildings should be carefully cleaned using gentle methods if possible, but hard metals may be lightly sandblasted if necessary to remove accumulated paint.
8. **Match Original Windows:** The original historical window type, style and material should be retained in rehabilitation. Glazing should not incorporate mirror reflective glass or dark tinted glass. The proportion, size and location of existing window openings should be respected and maintained wherever possible. The rhythm of solid-to-void of the existing historic building should be maintained and the total percentage of facade glazing in proportion to solid wall mass should not be significantly altered.

5.8.5 Building Materials and Colors

Building materials to be used on historic buildings shall be consistent with the materials used on the significant architectural style. Where new infill or new additions to historic buildings occur, the materials used shall be compatible with surrounding historic buildings in the Specific Plan, but should not be used to replicate the appearance of a historic building.

A. Materials

1. In general, the only permitted facade materials are brick, wood siding, cut stone, glass, metal and stucco. All four sides shall use the same material. However, where architectural styles used a mixture of materials it will be permitted. All facade treatments and materials must be typical of the style and period of the main building, and the level of detailing shall be the same for all facades.
2. The texture of new facades shall be compatible with the relevant buildings within the campus. Materials with substantially different surface texture or pattern from the existing materials are inappropriate.
3. All exposed brick on facades must be fired brick as defined by the American Standard Testing Materials Designation.
4. Existing wood facades must be preserved. Wood shingles are not permitted on new buildings. For historic structures undergoing repair, up to 25% of the existing shingles may be replaced with wood shingles. Structures requiring more than 25% of the existing shingle to be replaced shall be re-shingled with non-flammable shingles approved by the City of Orange Fire Department.
5. Material substitutes will be considered during project review (fiber-glass columns, tin cornices, etc.); however, traditional detailing and intent shall be maintained (see Appendix F, *City of Orange Local CEQA Guidelines*, for use of in-kind and alternative materials). Any improvements, restoration or new construction shall duplicate the original details and materials as accurately as possible. The City's Planning Department maintains a listing of sources for salvaged, reproduction and alternate materials.
6. Exposed roof coverings may be wood shingles, slate shingles, clay tiles capes, concrete tiles and pans or composition shingles.
7. Marquees, canopies, awnings and material substitutes will be permitted provided that traditional detailing, textures finishes and intent are maintained.
8. All sashes shall be wood or steel and consistent with the historic period.

9. Exposed rough or re-sawn siding and trim shall not be permitted.
10. All doors, including service doors, shall be wood or steel-simulating wood. No contemporary roll-up doors shall be permitted.
11. Security bars shall not be mounted on the exterior of the building.
12. See Appendix I *Material Substitution*, and Appendix F, *City of Orange Local CEQA Guidelines*, for policy on the use of alternate materials.
13. Acceptable Building Wall Materials:
 - a) Clear glass.
 - b) Concrete or plaster (lightly troweled or sand finished is allowed).
 - c) Cast iron.
 - d) New or used face-brick (has a fired face), terra-cotta or stone.
 - e) Corrugated metal.
 - f) Painted wood panels, where appropriate.
 - g) Ceramic tile.
14. Building Wall Materials to be Avoided:
 - a) Reflective or tinted glass.
 - b) Heavily textured stucco.
 - c) Rough sawn or “natural” wood.
 - d) Used brick with no fired face (salvaged from interior or party walls).

B. Colors

1. All structures shall have a dominant color. The colors of a structure must be compatible.
2. Fluorescent and metallic colors are not permitted on the exterior of any structure.
3. The use and color of stain shall be typical of the architectural style and period of the structure.
4. Brick surfaces not previously painted shall not be painted unless it has been determined through City review that painting is absolutely necessary to restore or preserve the brick, or when adding to or renovating the existing structure, a replacement brick of similar color and texture is not obtainable.
5. Use Historic Colors: Historic buildings should be painted in colors appropriate to the architectural style of the building and complementary to the colors used on any building within the immediate area.

5.8.6 Roofs

1. Slope and Pitch: The degree and direction of roof slope and pitch must be typical of the style and period of the main building and compatible with existing building forms in this district: Victorian, Hip Cottage, California Bungalow, Craftsman Bungalow. Flat roofs are permitted on Mediterranean, Revival, Prairie School, covered porches or porte cocheres. Secondary roof height and forms for porches or dormers shall also be compatible in style and placement. Generally, the roof height and form must be considered in the context of the existing roof forms on adjacent buildings.
2. Materials: A listing of alternate materials is provided in Appendix I, *Material Substitution*, of this Specific Plan.
3. Acceptable Roof Materials (where visible):
 - a) Concrete or clay tiles.
 - b) Class "A" composition shingles (for those buildings originally designed for residential use).
 - c) Slate or slate appearing substitutes.
 - d) Standing seam metal roofs (not batten) where appropriate.
4. Roof Materials to be Avoided:
 - a) Crushed stone.
 - b) Exposed corrugated metal or plastic.

5.8.7 Front Entrances and Porches

1. Detailing: Railings, moldings, tile work, carvings and other detailing and architectural decorations on front entrances and porches must be typical of the style and period of the main building.
2. Enclosures: A front entrance or porch may not be enclosed with any material, although, mesh screens may be permitted on Craftsman, Victorian, and California Bungalow style structures and retain the style and period of the building.
3. Style: Each main building must have a front porch or entry treatment with a shape, roof form, materials, and colors that are typical of the style and period of the building. A front entrance or porch must reflect the dominant horizontal and vertical characteristics of the main building.
4. Porte Cocheres (covered entrance porch): Porte cocheres must be preserved as architectural features and not be enclosed by fences, gates or other structures or materials.

5.8.8 Windows and Doors

1. Front Facade Openings: The number of door openings in the front facade of the main building must not be increased. Each story of a front facade of the main building must contain at least two windows or one window and a door.
2. Security and Ornamental Bars: Security and ornamental bars are only permitted on California Spanish, Mediterranean or Mission Style homes.
3. Shutters: Shutters must be typical of the style and period of the building and generally match the size of the opening.
4. Style:
 - a) All windows and doors in the front facade of the main building must be proportionally balanced in a manner typical of the style and period of the building.
 - b) No single, fixed plate glass is allowed except as part of an original period design (i.e., transom and sidelights). The size and proportion of window and door openings located on the front and side facades of the main building must be typical of the style and period of the building.
 - c) All windows and doors in the front and side facades of the main building must be typical of the style and period of the building.
 - d) The frames of windows must be trimmed in a manner typical of the style and period of the building.
5. Stairs: Second and third story exterior staircases are only permitted on accessory buildings and the rear 50% of the main building, except that they are not permitted on exterior street elevations.
6. Columns:
 - a) Function: Columns are only permitted as vertical supports near the front entrance of the main building or as vertical supports for porches.
 - b) Materials: Columns must be constructed of brick, stucco, wood, cut stone, or other materials that look typical of the style and period of the main building. No pipe or wrought iron columns are permitted.
 - c) Style: Columns must be of a style typical of the style and period of the main building.
 - d) Width Dimensions: The width of a column shaft at its widest point must be at least:
 - 1) one-eighth of the height of the column for a one-story column; and
 - 2) one-tenth of the height of the column for a two-story column.

7. **Chimneys:** All chimneys must be compatible with the style and period of the main building. Chimneys on the front 50% of a main building or on a corner side elevation must be constructed of brick, stucco, natural stone, or other materials that match or are compatible in texture, color and style with the main building; and of a style and proportion that is typical of the style and period of the main building.

8. **Eaves and Soffit Height:** The eaves or soffit height of a main building must be within 10% of the eaves or soffit height of the closest main building in the immediate area of a similar style and having the same number of stories.

6.0 DEVELOPMENT REGULATIONS

6.1 PURPOSE AND INTENT

These regulations are the primary means for implementing the Chapman University Specific Plan in such a way as to protect and enhance both the campus and the surrounding properties. Combined with the Design Guidelines in Chapter 5.0 of this Specific Plan, the regulations provide explicit directions for campus improvement projects where appropriate, and conceptual direction where a certain degree of flexibility may be exercised so that the intent of the Specific Plan will be assured, even with development projects that are not yet designed.

The Specific Plan's development regulations and design guidelines shall supersede those of the City of Orange Zoning Code, except in those instances where the Specific Plan remains silent or unclear. In instances where the Specific Plan development regulations do not address specific issues or other relevant considerations, the City's Zoning Code shall apply. Where the Specific Plan's provisions differ from those of the Zoning Code, the former shall take precedence. The General Plan land use and zoning designations in existence at the time of adoption of this Specific Plan Amendment by the City of Orange shall remain in effect for the two sites, APNs 039-150-010/039-150-030 (Villa Park Orchards Packing House) and APN 039-141-040 (associated parking lot), that are currently owned by the Villa Park Orchards Association. At such future time, if any, that the University elects to purchase the subject parcel(s), then the zoning and land use designations identified in this Specific Plan shall go into effect. A vacation request of Cypress Street, between Palm and Maple Avenues, shall not be considered until such time as the Villa Park Orchards Packing House use changes.

Since the University may amend the Specific Plan in the future to add potential acquisition areas over a long period of time, these regulations pay particular attention to guidance for incremental development.

Principal uses to be accommodated in the Specific Plan area include University and support uses as listed in Section 6.4, *Campus Development Standards*.

6.2 PLANNING AREA DESIGNATIONS

Exhibit 6.1, *Planning Area Designations*, indicates the planning areas within the Chapman University Specific Plan. Each area has a basic function to perform in carrying out the purposes of the University. The land use regulations are tailored to each planning area. The planning areas are:

Academic 1 (A-1) - This area is the focal point of the University where most of the learning activities occur. It contains most of the classrooms, athletic facilities and administrative offices, the Center for the Arts, as well as the indoor assembly spaces for both university and community use. It occupies the portion of the campus south of Walnut Avenue, north of Palm Avenue and east of Cypress Street.

Academic 2 (A-2) - This area allows for development of a broader range of University uses, including academic and administration facilities, film production facilities and associated uses, cultural facilities, ancillary retail/entertainment uses, parking, food services and residential uses. It occupies the portion of the Specific Plan area located within a predominantly industrial area near the railroad tracks, as shown on Exhibit 6.1, *Planning Area Designations*. The parcels along the west side of Glassell Street between Walnut and Sycamore Avenues are also part of the A-2 Planning Area. However, only certain A-2 land uses are permitted on these parcels because of their locations adjacent to residential and commercial uses and their smaller lot sizes. This area, which has special land use limitations, is designated as the Glassell Street Overlay.

A second overlay, the Atchison Street Overlay, is established for the parcels located between Atchison Street and Cypress Street, south of Maple Avenue in the A-2 area (see Exhibit 6.1, *Planning Area Designations*). The intent of the Atchison Street Overlay is to promote mixed use development, retail, office and educational uses in proximity to the Orange County Transit Authority (OCTA) transportation center at Atchison Street and Maple Avenue. Certain commercial uses are permitted in the Atchison Street Overlay, in addition to many of the uses permitted in the A-2 area.

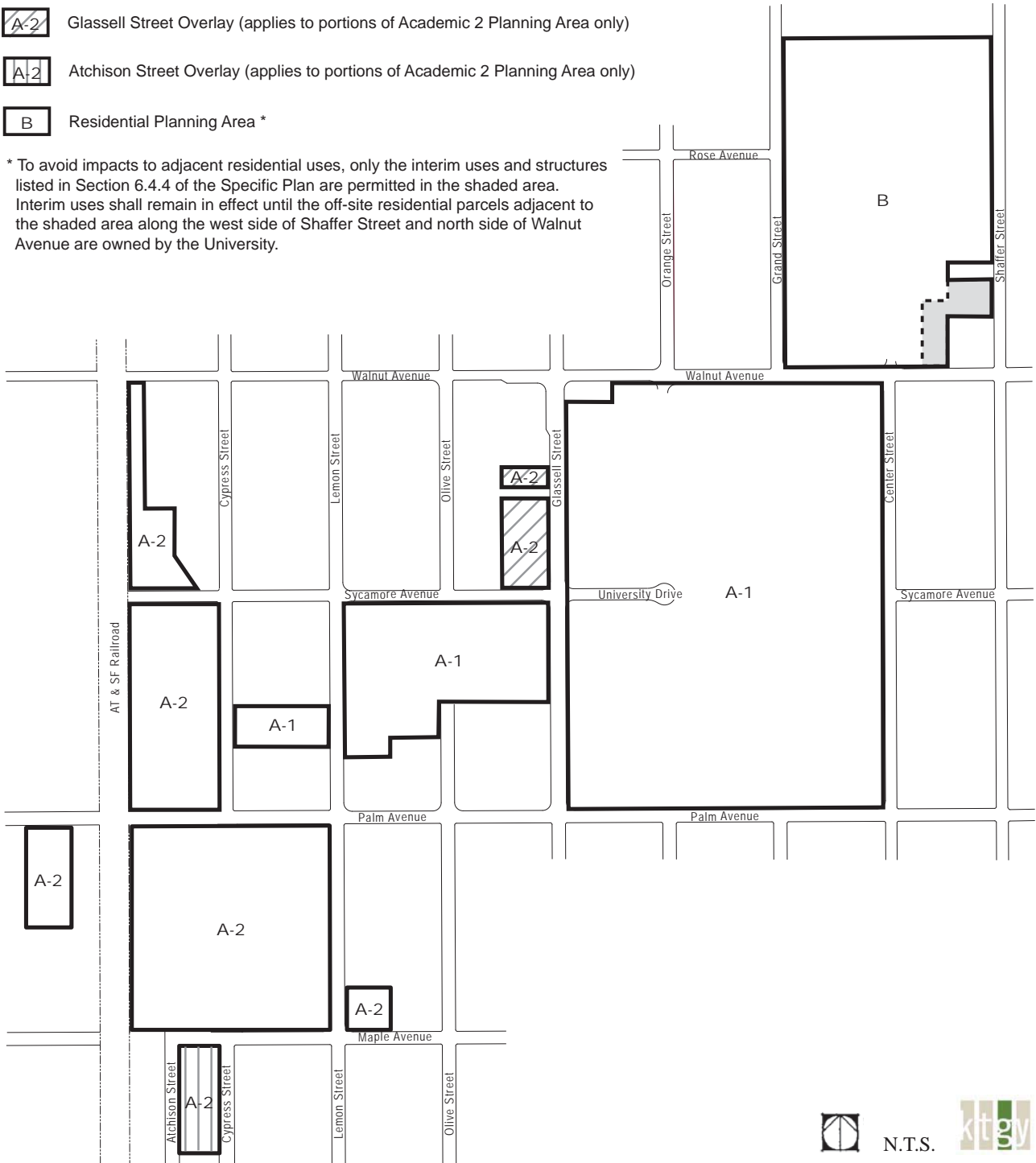
Residential (B) - This northerly portion of the campus, north of Walnut Avenue, is devoted primarily to the facilities necessary to accommodate campus housing and parking, as well as minor recreational and food service functions. For parcels adjacent to off-site residential uses (see the shaded area in Exhibit 6.1, *Planning Area Designations*), only interim uses and structures shall be permitted as provided in Section 6.4.4, *Residential Area (B)*, of this Specific Plan. These interim structures and uses shall remain in effect until the off-site residential properties adjacent to these parcels along the west side of Shaffer Street and north side of Walnut Avenue are owned by the University.



Legend

- A-1 Academic 1 Planning Area
- A-2 Academic 2 Planning Area
- A-2 Glassell Street Overlay (applies to portions of Academic 2 Planning Area only)
- A-2 Atchison Street Overlay (applies to portions of Academic 2 Planning Area only)
- B Residential Planning Area *

* To avoid impacts to adjacent residential uses, only the interim uses and structures listed in Section 6.4.4 of the Specific Plan are permitted in the shaded area. Interim uses shall remain in effect until the off-site residential parcels adjacent to the shaded area along the west side of Shaffer Street and north side of Walnut Avenue are owned by the University.



N.T.S.



Exhibit 6.1, Planning Area Designations

6.3 SPECIFIC PLAN AREA PROVISIONS

6.3.1 General Provisions

1. **Code Compliance:** All construction and development within the Specific Plan area shall comply with applicable provisions of the Uniform Building Code and the various related mechanical, electrical, plumbing codes, grading and excavation codes and the subdivision codes, as currently adopted by the City of Orange.
2. **Setbacks:** The setback requirements are specified in Section 6.4.1.D, *Setbacks*. All setbacks shall be determined as the perpendicular distance from the property line.
3. **Violations:** Any person, firm or corporation, whether a principal, agent, employee or otherwise, violating any provisions of these regulations may be subject to the City of Orange Zoning Code section pertaining to zoning misdemeanors.

6.3.2 Nonconforming Uses and Structures

1. **Nonconforming Uses of Land:** Where, at the time of passage of this Specific Plan, lawful use of University-owned land exists which would not be permitted by the regulations imposed by this Specific Plan, such use shall be deemed a nonconforming use and may be continued so long as it remains otherwise lawful, provided:
 - a. No nonconforming use shall be enlarged or increased, nor extended to occupy a greater area of land than was occupied at the effective date of adoption or amendment of this Specific Plan.
 - b. No nonconforming use shall be moved to any portion of the lot or parcel other than that occupied by such use at the effective date of adoption or amendment of this Specific Plan.
 - c. If any nonconforming use ceases for any reason for a period of more than 180 days, any subsequent use shall conform to the regulations specified by this Specific Plan; and
 - d. No additional structure not conforming to the requirements of this Specific Plan shall be erected in connection with any nonconforming use of land.
2. **Nonconforming Structures:** Where a lawful structure exists at the effective date of adoption of this Specific Plan that could not be built under the terms of these regulations by reason of restrictions on area, height, setbacks, lot location, or other requirements concerning the structure, it shall be deemed a nonconforming

structure and may be continued so long as it remains otherwise lawful, subject to the following provisions:

- a. No nonconforming structure may be enlarged or altered in any way which increases its nonconformity, but any structure may be altered if such does not affect its nonconformity or decreases it;
- b. Should a nonconforming structure be destroyed by any means to an extent of more than 50 percent of its replacement cost at a time of destruction, it shall not be reconstructed except in conformity with the provisions of this Specific Plan; and
- c. Should any nonconforming structure be moved, it shall thereafter conform to the regulations specified by this Specific Plan to the extent feasible.

6.3.3 General Use Standards

1. **Special Uses:** The following special uses may be permitted in accordance with the provisions set forth below:
 - a. Modular units for classrooms or offices: Modular units or mobile homes may be used for temporary classrooms or offices, provided:
 - 1) Each unit may be used for a maximum of two years. After such date, it will be subject to review by the Community Development Director to determine if a longer time frame is needed.
 - 2) A foundation landscape treatment is provided on all sides of the unit. Areas are to be measured three feet minimum out from unit; landscaped, watered and maintained in good health. Such plant material as hedges, shrubs, ground covers or flowers will be provided by the University.
 - 3) They are not to be used as residences, except as caretaker residences provided as an accessory use.
 - 4) The maximum density of modular units will be:
 - Six units in the Academic 1 Zone;
 - Six units in the Academic 2 Zone; and
 - Three units in the Residential Zone.
 - 5) Review and approval by the Community Development Director as required in Section 7.3, *Site Plan Review*.
 - b. Tents and other similar uses shall be allowed during construction of new facilities, provided that:

- 1) Each tent may be erected for a maximum of two years. After such date, it will be subject to annual review by the Community Development Director to determine if additional time extensions are needed. Up to three one-year time extensions may be granted (five years total maximum), upon written request describing the extenuating circumstances. Such time extensions shall not require public notice.
 - 2) Review and approval by the Community Development Director as required in Section 7.3, *Site Plan Review*.
- c. Carnivals, exhibitions, fairs, pageants, religious observances, as well as routine events, such as “All Faiths Day,” fund-raisers, alumni events and public health/service events. These uses will be permitted on campus on a temporary basis, provided that:
- 1) Each event does not exceed six weekends or seven consecutive days during any 12-month period. At least five days prior to such an event, City Code Enforcement staff and Police Department will be notified in writing as to the type and duration of the event.
 - 2) Where a longer time period is desired for outdoor use a temporary use permit shall be sought and approved from the City of Orange Community Development Director.
- d. Parking lots in accordance with the City of Orange temporary parking lot policy as follows:
- 1) A temporary parking lot, for the purposes of this policy, shall mean any area other than a street, alley, or other public property which is intended for the parking needs of private enterprises or made available for use by the transient public for the parking of vehicles on an overflow basis until permanent parking facilities are made available.
 - 2) The Staff Review Committee (SRC), in reviewing requests for temporary parking lots, shall limit its approval to two years. An extension of up to one additional year may be allowed for completion of permanent facilities that are under active construction. A decision by the SRC to deny a request for a temporary lot or an extension may be appealed to the Planning Commission. All acts and determinations of the Planning Commission are directly reviewable by the City Council in accordance with 17.92.110 of the Orange Municipal Code.
 - 3) Request for temporary parking lots shall be submitted as a site plan to the Staff Review Committee. Said request shall be accompanied by a fully-

dimensioned, scaled plot plan for the entire property, showing all existing structures and uses and the proposed location of the proposed parking lot.

4) Development Standards:

a) Landscaping

A landscaped street setback shall be installed and maintained for the duration of the temporary parking lot use. The depth of said landscaped setback shall be consistent with that prescribed by the underlying zone.

A reduction of setback may be considered when the adjacent parcels and the parcels across the street from the temporary lot are under common ownership with the subject parking lot.

Landscaping shall include turf or other suitable ground cover, and a minimum of one 15-gallon tree for each 45 feet of street frontage.

b) Pavement Section and Grading Plan

The paving section and grading plan requirements shall be determined by the City Engineer, and shall be based on the anticipated length of time the lot will be needed, the existing soil conditions and the anticipated daily traffic that lot will receive.

c) Lighting

Lighting shall be provided for lots utilized after dark to a minimum level of one foot candle maintained throughout the lot. Said lighting shall operate from dusk to one hour past the close of business for which the lot provides parking. Parking lot lighting shall be directed so as not to shine on neighboring residential properties. The use of temporary light standards is acceptable.

d) Fencing

No parking lot fencing is specified. However, consideration shall be made for common property lines with residentially-zoned parcels as specified in Section 17.74.020 of the Orange Municipal Code.

e. Communication and broadcast facilities and equipment, including but not limited to radio, television, microwave, satellite stations, antennas, satellite dishes, fiber optics and related facilities. All such uses shall comply with regulations outlined in Section 17.12.020 of Title 17 of the Orange Municipal Code. Wireless communication towers shall be stealth.

f. Sculptures, murals and other forms of outdoor art, subject to Design Review as stated in Section 5.5.8, *Art-in-Public-Places*, of this Specific Plan.

2. Temporary Uses: The following temporary uses may be permitted in accordance with the provisions set forth below:

- a. Entertainment shows and outdoor entertainment, including but not limited to music; concerts; plays; live, automated, computerized, motion picture and amplified and non-amplified entertainment. All such uses shall not be permitted within 300 feet of privately owned residential property. Entertainment must be limited to between the hours of 9 a.m. to 10 p.m. Uses that comply with these standards shall not require a Temporary Use Permit.

The following procedures shall be followed for notification of those neighbors who may be affected by the University's outdoor events:

- 1) Whenever an outdoor event (e.g., plays, concerts, amplified entertainment, parties, fund-raising events, etc.) is planned at the University, the sponsoring department shall develop and distribute a notification letter to neighbors in the surrounding community. This notification shall be distributed at least three (3) working days prior to the event.
- 2) Whenever an outdoor event will cause excessive congestion in the surrounding community, the University Public Safety Department shall petition the Orange City Council to lift the "Area A" parking restrictions and shall post notification of this occurrence on the surrounding streets.
- 3) In the notification letters to the neighbors, the University shall invite the neighbors to the special event.
- 4) The notification shall include the telephone number of the University Public Safety Department in case a neighbor has concerns or problems generated by the special event. All complaints shall be followed up by the University Relations Department to insure that similar problems do not reoccur.
- 5) In addition to all the above, the University Relations Department will publish a "Neighbor to Neighbor" newsletter that will alert the surrounding community of upcoming events.
- 6) Whenever problems present themselves, the University shall conduct a "Town Hall" forum to afford the surrounding neighbors an opportunity to voice concerns and issues for resolution.

3. Future Uses: It is understood that the exact location, size and use of all Chapman University projects cannot be precisely identified at the time of adoption of the Specific Plan, and additional projects may be proposed that are not known presently.

Internal modifications of University structures or campus areas may also be proposed. Therefore, future project applications shall be deemed to conform to the Specific Plan if the following findings can be made by the Director of Community Development:

- a. The proposed project is compatible with other projects within the Specific Plan area;
 - b. The proposed project is compatible with the regulations and design criteria and guidelines of the Chapman University Specific Plan.
4. **Unlisted Uses:** Whenever a use has not specifically been listed as being a permitted use within the Specific Plan, it shall be the responsibility of the Director of Community Development to determine if the use is: 1) consistent with the intent of the Specific Plan; and 2) compatible with other permitted uses. The University may appeal that decision to the Planning Commission, then the determination of the Planning Commission may be appealed to the City Council.

6.3.4 Temporary Use Permits

1. **Purpose and Intent.** The City recognizes that certain types of land use, due to the nature of the use, require special individual review. The intent of this section is to accommodate reasonable requests for interim, temporary or seasonal uses within any zoning district, when such activities are desirable for the community in the short term but would have detrimental effects if allowed to continue on a permanent basis. Temporary uses allowed under this section shall be sensitive to the health, safety and general welfare of persons residing and working in the community and shall be conducted so as not to cause any long term detrimental effects on surrounding properties and the community. This section does not supersede existing regulations pertaining to specific temporary uses included in other code sections. The issuance of a temporary use permit does not confer any land use entitlement or property right to the holder of the permit. This permit is revocable with or without cause upon thirty (30) days written notice to the permit holder, unless violations of public health, safety or welfare are occurring, in which case the permit will be immediately revocable.
2. **Initiation and Application.** Application for temporary use permits shall be filed on forms furnished by the Community Development Department at least thirty (30) days prior to initiation of the use. Applications for temporary uses shall contain the following information:
 - a. The name and address of the sponsoring business or organization;
 - b. The proposed location of the temporary use;
 - c. The name and address of the party responsible for the temporary use;

- d. A list of communities in California where the temporary use has been previously conducted by the party responsible for the temporary use;
 - e. The number of persons who will be engaged in conducting the temporary use, if applicable;
 - f. A plot plan showing the entire property in addition to that portion of the property to be used to conduct the temporary use, including an exact description and plot plan describing the total extent of any off-street parking area which would be occupied for the purpose of conducting the temporary use;
 - g. A completed property owner affidavit; and
 - h. Such other information as shall be required by the Community Development Director.
3. **Annual, Seasonal or Recurring Temporary Uses**, located within any zoning district in the City shall include:
- a. Off-site agricultural sales including, but not limited to, Christmas tree lots, pumpkin patches and strawberry stands;
 - b. Temporary holiday storage containers/trailers and outdoor storage containers/trailers ancillary to an existing permitted use; and
 - c. Other annual, seasonal or recurring temporary uses of a similar nature as determined by the Community Development Director.
 - d. Duration. Annual, seasonal or recurring temporary uses may be allowed for a maximum time period of six months.
 - e. Procedure. The Staff Review Committee (SRC) shall serve as the initial reviewing body for recurring temporary uses. Once an application for a temporary use permit has been deemed complete, the SRC shall consider and make a recommendation to approve, approve with conditions or deny the permit. The recommendation shall be forwarded to the Community Development Director or his or her designee (director). The director, in reviewing a temporary use permit application shall review the recommendations of the SRC and shall act to approve, approve with conditions or deny the application. The director's action shall be deemed final.

4. **Conditions of Approval.** In granting any temporary use permit, the reviewing authority may prescribe appropriate conditions and safeguards in conformity with this section. Violation of such conditions and safeguards, when made a part of the terms under which the temporary use permit is granted, shall be deemed a violation of this Specific Plan. The reviewing authority may prescribe a time limit within which the action for which the temporary use permit shall be started, completed, or both. Conditions of approval may include, but are not limited, to:
 - a. Regulations of hours and days;
 - b. Requirements of bonds or other guarantees for cleanup or removal of structures or equipment;
 - c. Return of temporary use site to its original state within a specified period of time;
 - d. Regulation of permit duration;
 - e. Regulation of signs and advertising;
 - f. Regulation of lighting;
 - g. Regulation of public-address or sound system;
 - h. Regulation of gas, smoke, noise, fumes, vibrations or other nuisances;
 - i. Regulation of design features including, but not limited to, size, colors, material, architectural details and landscaping;
 - j. Referral to the Design Review Committee; and
 - k. Such other conditions as are deemed necessary to protect the health, safety and welfare of the community and to assure compliance with the intent and purpose of this section.
5. **Criteria for Review.** The reviewing authority shall consider the following criteria in granting a temporary use permit:
 - a. That the temporary use permit is compatible with the various provisions of this chapter;
 - b. That the temporary use is a reasonable use of land compatible with the General Plan land use designation and zoning classification;

- c. That the temporary use will not impede the reasonable use of land, or the orderly development of land in the immediate vicinity;
 - d. The temporary use will not adversely affect the adjacent uses, buildings or other structures;
 - e. That the temporary use will not endanger the public health, safety or general welfare;
 - g. Provisions for adequate traffic access/circulation, off-street parking and pedestrian safety have been provided and will be maintained during the operation of the use or activity; and
 - h. That the granting of the temporary use permit is made subject to those conditions necessary to preserve the general welfare, not the individual welfare of any particular applicant.
6. **Revocation.** This permit may be revoked by the City for any reason in the sole and absolute discretion of the Community Development Director, or his or her designee, upon thirty (30) days written notice, or immediately in the event that the permittee, as determined by the Community Development Director, or his or her designee, is in violation of any law or activity that endangers the public health, safety, or general welfare.
7. **Expiration.** Permits for nonrecurring temporary uses shall not exceed a one year time period. Any nonrecurring temporary use exceeding one year must reapply. In no case shall any nonrecurring temporary use be allowed for more than two years. Annual, recurring temporary uses must be reapplied for each year.

6.3.5 Demolition Review

All projects involving demolition and relocation of any contributing historic resource listed in Exhibit 1.4, Contributing Resources on National Register of Historic Places, or any non-contributing structures within the A-1 and A-2 zones of the Specific Plan area, shall be subject to the City's Demolition Review process, as discussed in Section 7.4, Demolition Review, of this Specific Plan.

6.4 CAMPUS DEVELOPMENT STANDARDS

The following section identifies relevant site development standards particular to the Chapman University Specific Plan. Topics indicated in the City Zoning Ordinance are referenced. The standards specified will supersede the Zoning Ordinance. Unless otherwise noted by this Specific Plan, all definitions and regulations as prescribed in the City Zoning Ordinance shall govern. All land uses shall be implemented through Site Plan Review procedures as outlined in Section 7.3, *Site Plan Review*, of this Specific Plan.

The campus development standards will first relate those standards that apply University-wide to the entire Chapman University Specific Plan area. These standards will apply to the planning areas in the Specific Plan. Each of the three planning areas (Academic 1, Academic 2 and Residential) will also indicate the unique standards which will be required for their individual areas, in addition to the university-wide standards.

6.4.1 Specific Plan Area-wide Standards

A. Intent and Purpose

The purpose Chapman University Specific Plan Zone (SP-PI) is to provide for the continued development, preservation and enhancement of the integrated academic, recreation and campus housing uses in attractive settings. This zone is intended to protect and enhance surrounding property values through public and private commitments to quality education and campus development.

B. Principal Structures and Uses

The following structures and uses are permitted anywhere within the SP-PI zone on University-owned land, excluding the parcels on Shaffer Street and Walnut Avenue that are subject to residential interim land uses (refer to Exhibit 6.1, Planning Area Designations) as discussed in Section 6.4.4, *Residential Area (B)*. The following structures and uses are subject to Site Plan Review as required by Section 7.3, *Site Plan Review*, of this Specific Plan.

Permitted Uses
a. Chapels.
b. Child care facilities, provided it offers day care, non-medical care and supervision for children in a group setting.
c. Educational conferences.
d. Faculty or staff housing.
e. Food and beverage services.
f. Medical clinic, including laboratories in conjunction herewith, and health facilities/infirmarary (outpatient).
g. Library(s), reading room(s).
h. Open space.
i. Parking lots and structures, as provided in this Specific Plan.
j. Parks and playgrounds.
k. Scenic landscaping.
l. Signs, as provided in Orange Municipal Code, and Chapters 5.0, <i>Design Guidelines</i> , herein.
m. Storage and outdoor storage as a temporary use for the duration of construction. Other uses may have temporary storage if visually screened from surrounding properties.
n. Student convenience commercial facilities.
o. Teaching/instructional uses or other educational purposes.

C. Building Height

Internal University building heights shall conform to a graduated height ceiling, with the tallest building heights being setback in the center of all University zones.

Maximum heights are established at 62 feet within a limited area along Glassell Street and 55 feet for the remainder of the campus. Height requirements have been established at the property line for each street, with increases in height allowances at specified ratios of setback distance to height, as indicated on Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.

Screened mechanical and electrical towers, chimneys and other integral parts of the building or structure occupying no more than five percent of the roof area and within fifteen percent (15%) of the allowed maximum building height shall be excluded from the measurement. Up to an additional five (5) feet in building height may be permitted subject to Minor Site Plan Review for architectural elements such as towers, cupolas, domes and special roof enhancements. Minor Site Plan Review procedures are specified in Section 17.10.060 of the City's Municipal Code.

For each structure that exceeds 32 feet in height, the University shall submit a solar shadow study at the time of Site Plan Review to be reviewed and approved by the Community Development Director. The solar shadow study shall include an analysis to determine if a significant shade and shadow impact would occur if shadow-sensitive uses are shaded by project structures at anytime between the hours of 9 a.m. and 4 p.m. Shadow-sensitive uses shall be considered to include off-site residential structures and rear yard patio areas, public parks and recreation areas, and public schools. The shadow impacts for purposes of this determination shall be plotted for winter solstice (December 22nd) and summer solstice (June 22nd) using a methodology acceptable to the City of Orange.

Building setbacks adjacent to residential, commercial, industrial and public streets shall be as shown on Exhibits 6.3a-h, *Building Height Contours and Setback Cross Sections*. All existing setbacks adjacent to residential districts will be adhered to as specified in this document. No additional development shall occur within the specified setback areas.

To protect the scale and character of the campus/residential community interface, the building heights may be reduced for buildings located within 120 feet of a residentially zoned property. Reductions in building heights shall consider compatibility, privacy, natural lighting and shadow factors based on the scale, height and setback of the proposed building. The existing and proposed building envelopes shall be submitted at the time of Site Plan Review for review and approval by the Community Development Department.

Maximum Building Heights and Heights at Setbacks

Location	Height at Setbacks**	Maximum Height**
Adjacent to Single-Family Residential Cross Section A	30'	55'
Adjacent to Shaffer Street, Center Street, Grand Street, Walnut Avenue and Palm Avenue east of Glassell Street Cross Section B	40'	55'
Adjacent to Glassell Street north of Palm Avenue Cross Section C	55'	55'
Adjacent to Sycamore Avenue west of Glassell Street, University Drive east of Glassell Street Cross Section E	60'	62'
Adjacent to Sycamore Avenue east of Lemon Street, Lemon Street north of Palm Avenue Cross Section F	40'	62'
Adjacent to Multi-Family Residential Cross Section G	40'	62'
Adjacent to Lemon Street south of Palm Avenue Cross Section H	55'	55'
Adjacent to Palm Avenue and Maple Avenue west of Lemon Street and Cypress Street south of Sycamore Avenue Cross Section I	55'	55'
Adjacent to Glassell Street north of University Drive Cross Section J	32' west / 60' east	32' west / 62' east (55' east for Center for the Arts only)
Adjacent to Palm Avenue west of Cypress Street and Cypress Street between Palm and Maple Avenues Cross Section K	55'	55'
Adjacent to Palm Avenue west of AT & SF Railroad Cross Section L	32'	32'
Adjacent to Commercial, Industrial or City Parking Lot south of Palm Avenue Cross Section M	32'	32'
Adjacent to Single- or Multi-Family Residential Cross Section N	27'	32'
Adjacent to Cypress Street south of Maple Avenue Cross Section O	32'	32'
Adjacent to AT & SF Railroad north of Sycamore Avenue Cross Section P1	N/A (Parking/ Access Drive)	N/A (Parking/ Access Drive)
Cross Section P2 (occurs only in 25' setback on Walnut Avenue)	N/A (Access Drive/ Landscape Setbacks on Both Sides)	N/A (Access Drive/ Landscape Setbacks on Both Sides)
Adjacent to Sycamore Avenue and Maple Avenue west of Cypress Street Cross Section Q	32' / 55'	32' / 55'
Adjacent to Lemon Street between Sycamore Avenue and Palm Avenue Cross Section R	32'	32'
Adjacent to Atchison Street south of Maple Avenue Cross Section S	32'	32'

Location	Height at Setbacks**	Maximum Height**
Adjacent to Maple Avenue east of Lemon Street Cross Section T	27'	32'
Adjacent to AT & SF Railroad north of Palm Avenue Cross Section U	55'	55'
Adjacent to AT & SF Railroad north of Sycamore Avenue Cross Section V	32'	32'
Adjacent to Commercial south of Walnut Avenue Cross Section W	40'	62' (55' for Center for the Arts only)
Adjacent to Walnut Avenue east of Glassell Street Cross Section X	40'	55'



* Setbacks measured from property lines.

** Building heights may be reduced for buildings within 120 feet of a residentially zoned property. Reductions in building heights shall consider compatibility, privacy, natural lighting and shadow based on the scale, height and setback of the proposed building.

Note: Cross Section D is no longer applicable.



Legend

-  Building Height Boundary
-  Building Height Cross Section Key

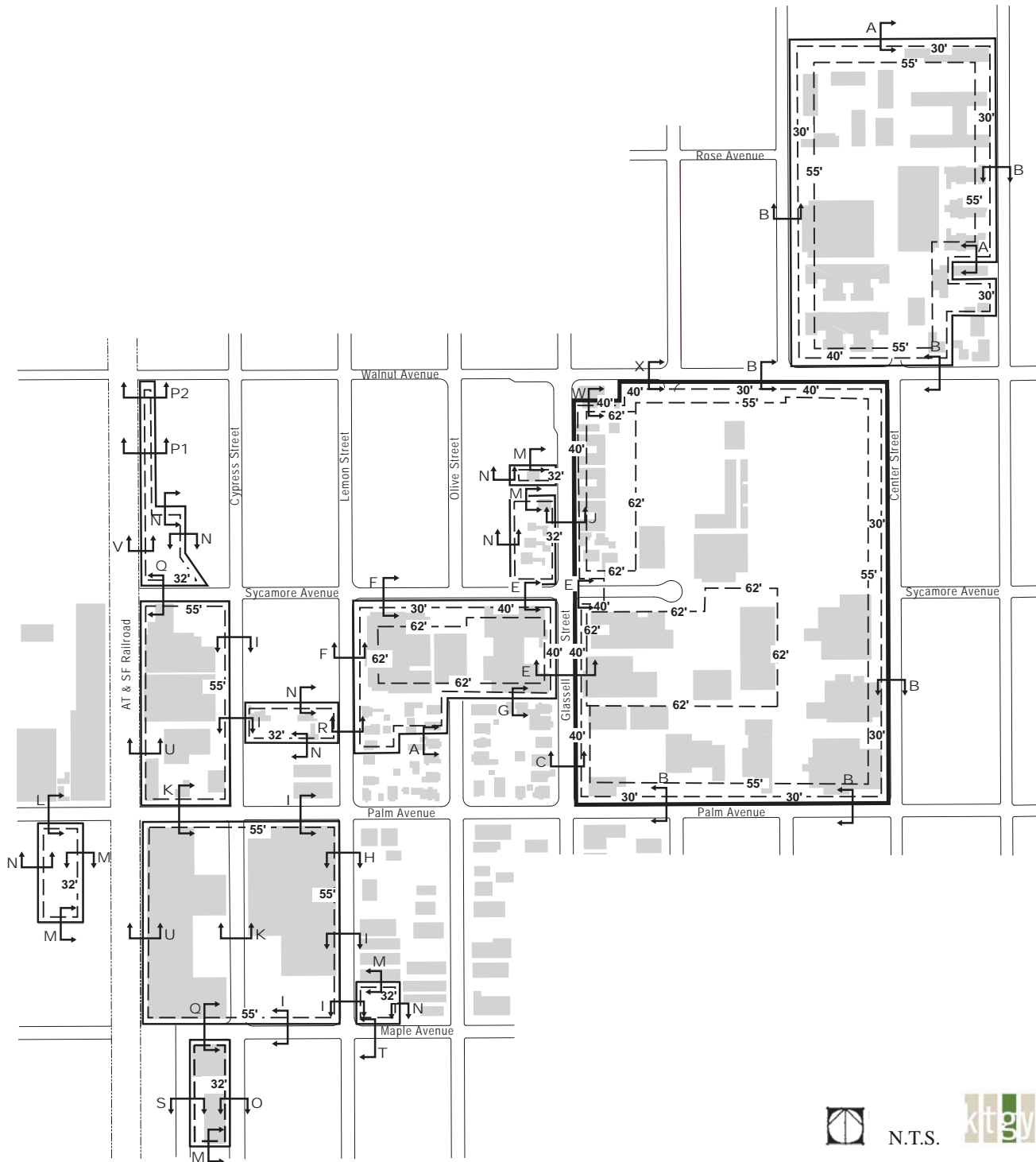


Exhibit 6.2, Building Height Contours and Setback Cross Sections Key Map

D. Setbacks and Encroachments

1. Adjacent to residential uses - All existing setbacks adjacent to residential districts will be adhered to as specified in this document. No additional development shall occur within specified setback areas. See Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.
2. Adjacent to all non-residential uses - See Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*, and Exhibits 6.3a-h, *Building Heights and Setbacks*.
3. Front Yard Setbacks: All front yards shall conform to the setback criteria in the following table, *Minimum Setbacks*, provided that where the frontage on a block is partially in a residential district, the required yard shall be the same as that required in such residential area.
4. Side Yard Setbacks: No side yard shall be required except on corner and reverse corner lots, where there shall be an exterior side yard of not less than 10 feet or, where the side yard abuts off-campus residential property, 5 feet minimum.
5. Rear Yard: No rear yard shall be required unless the structure abuts a single-family residential district and exceeds one story or 20 feet, in which case there shall be a rear yard of at least 15 feet.
6. Street Side Yard Encroachment: A 5-foot building encroachment into the required setback on the east side of Cypress Street, between Palm and Maple Avenues, may be permitted, provided that no more than 30 feet or 20% of the building length along Cypress Street, whichever is less, is located within this encroachment area.

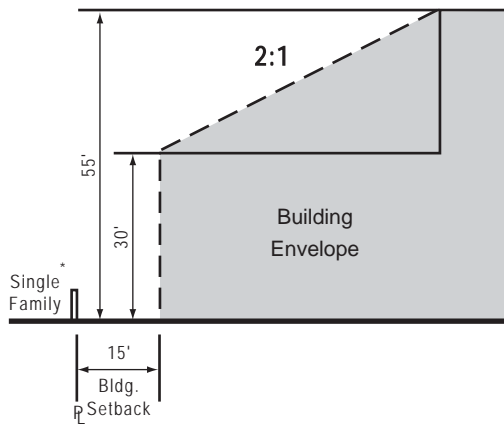
Minimum Setbacks

Location	Min. Setback*
Adjacent to Single-Family Residential Cross Section A	15'
Adjacent to Shaffer Street, Center Street, Grand Street, Walnut Avenue and Palm Avenue east of Glassell Street Cross Section B	20'
Adjacent to Glassell Street north of Palm Avenue Cross Section C	20'
Adjacent to Sycamore Avenue west of Glassell Street, University Drive east of Glassell Street Cross Section E	20'
Adjacent to Sycamore Avenue east of Lemon Street, Lemon Street north of Palm Avenue Cross Section F	20'
Adjacent to Multi-Family Residential Cross Section G	15'
Adjacent to Lemon Street south of Palm Avenue Cross Section H	10'
Adjacent to Palm Avenue and Maple Avenue west of Lemon Street and Cypress Street south of Sycamore Avenue Cross Section I	10'
Adjacent to Glassell Street north of University Drive Cross Section J	15' west / 20' east
Adjacent to Palm Avenue west of Cypress Street and Cypress Street between Palm and Maple Avenues Cross Section K	10'
Adjacent to Palm Avenue west of AT & SF Railroad Cross Section L	20'
Adjacent to Commercial, Industrial or City Parking Lot south of Palm Avenue Cross Section M	0'
Adjacent to Single- or Multi-Family Residential Cross Section N	15'
Adjacent to Cypress Street south of Maple Avenue Cross Section O	10'
Adjacent to AT & SF Railroad north of Sycamore Avenue Cross Section P1 Cross Section P2 (occurs only in 25' setback on Walnut Avenue)	0' 6' landscape setback
Adjacent to Sycamore Avenue and Maple Avenue west of Cypress Street Cross Section Q	10'
Adjacent to Lemon Street between Sycamore Avenue and Palm Avenue Cross Section R	20'
Adjacent to Atchison Street south of Maple Avenue Cross Section S	15'

Location	Min. Setback
Adjacent to Maple Avenue east of Lemon Street Cross Section T	10'
Adjacent to AT & SF Railroad north of Palm Avenue Cross Section U	10'
Adjacent to AT & SF Railroad north of Sycamore Avenue Cross Section V	10'
Adjacent to Commercial south of Walnut Avenue Cross Section W	15'
Adjacent to Walnut Avenue east of Glassell Street Cross Section X	15'

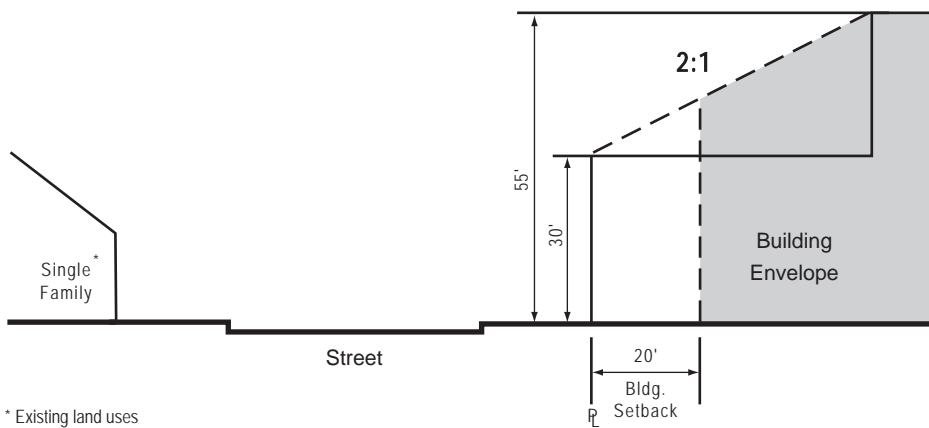
* Setbacks measured from property lines.

Note: Cross Section D is no longer applicable.



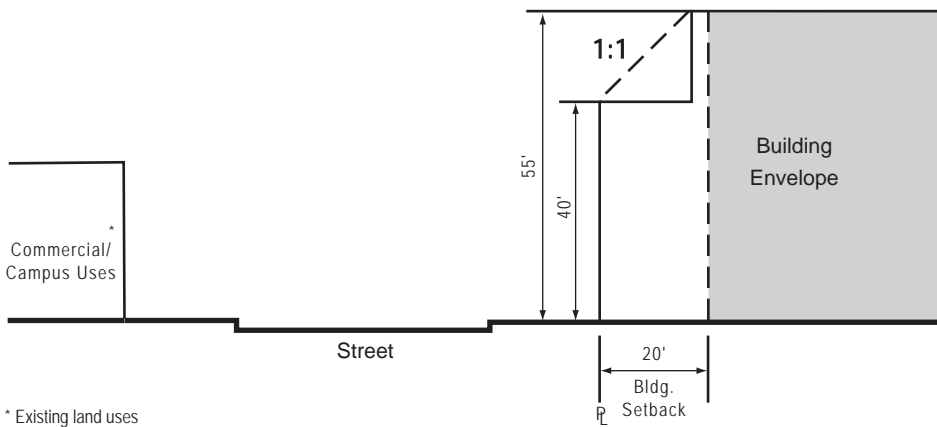
* Existing land uses

Section A



* Existing land uses

Section B



* Existing land uses

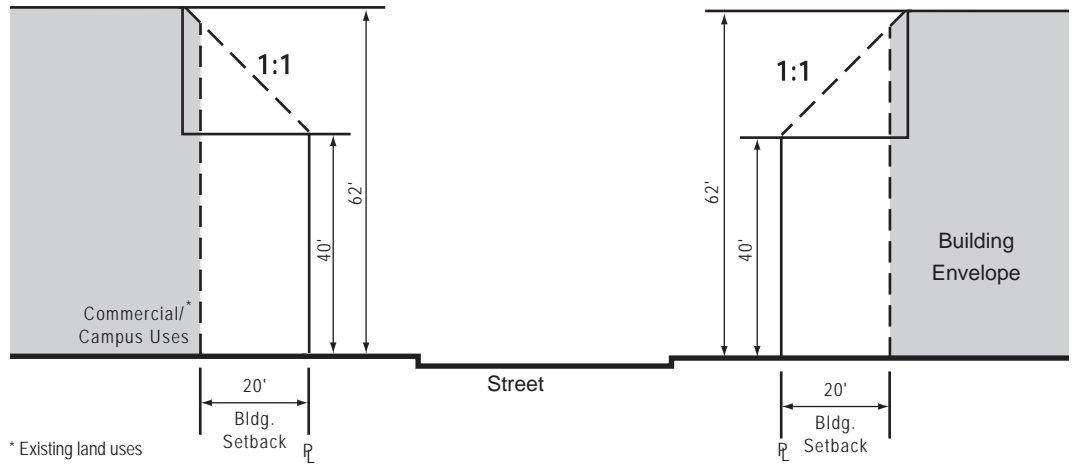
Section C

For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.

Exhibit 6.3a, *Building Heights and Setbacks*

For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.

Section D is no longer applicable.



* Existing land uses

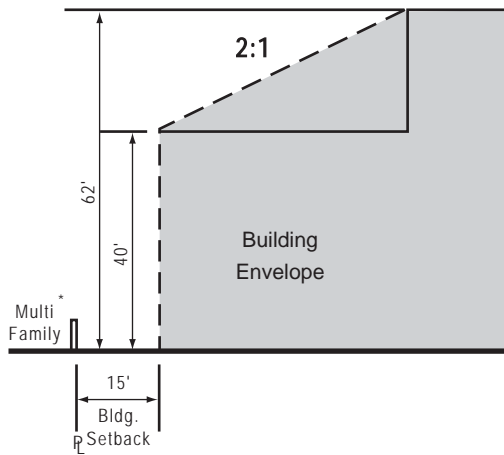
Section E



* Existing land uses

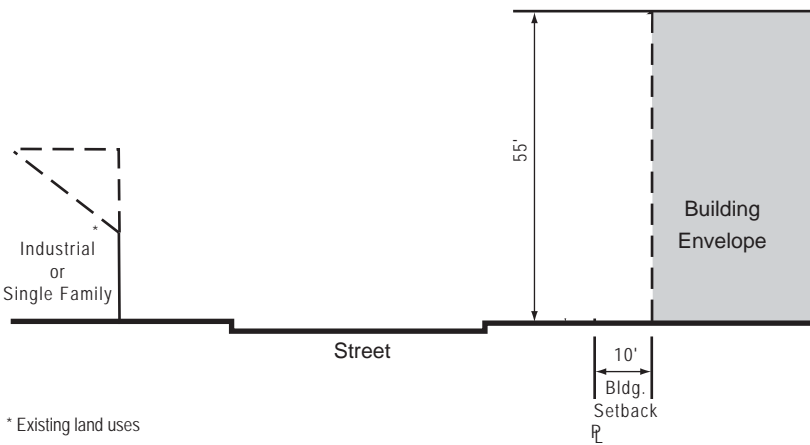
Section F

Exhibit 6.3b, Building Heights and Setbacks



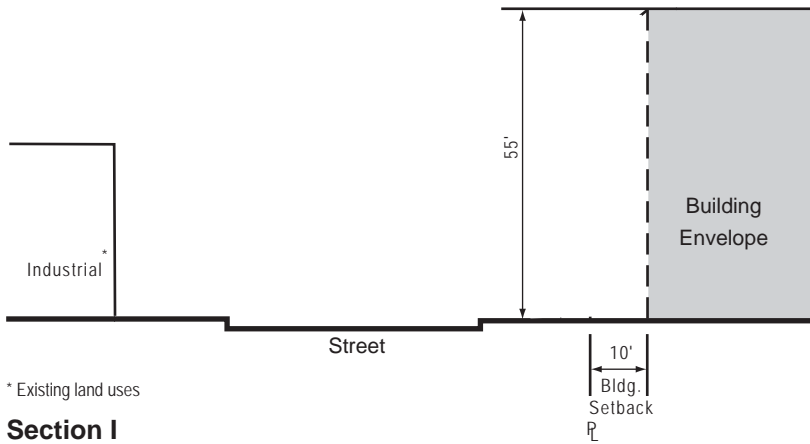
* Existing land uses

Section G



* Existing land uses

Section H



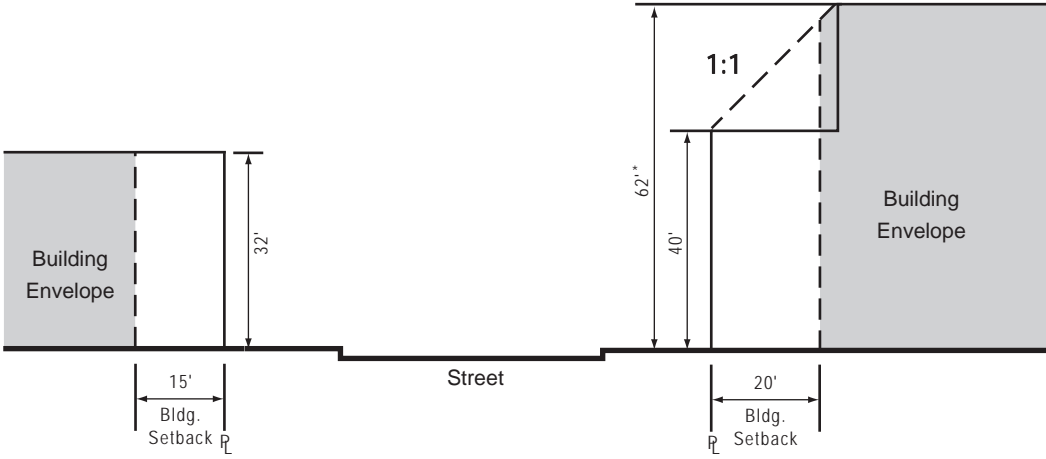
* Existing land uses

Section I

For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.

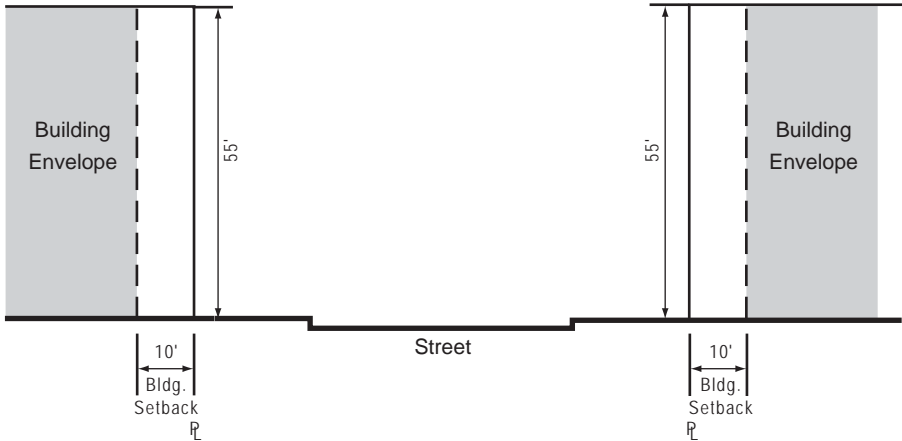
Exhibit 6.3c, Building Heights and Setbacks

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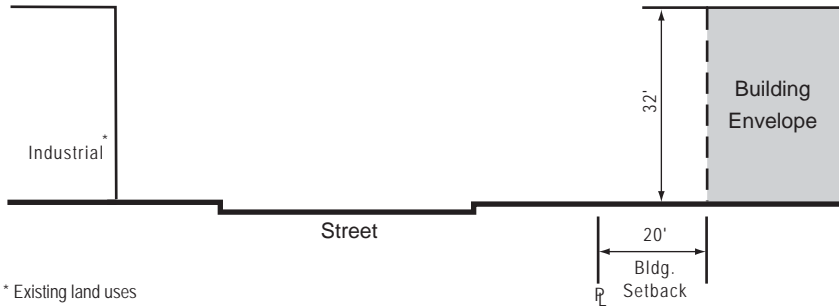


Section J

* 55' maximum height for Center for the Arts only



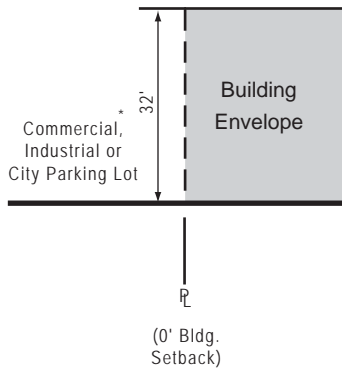
Section K



* Existing land uses

Section L

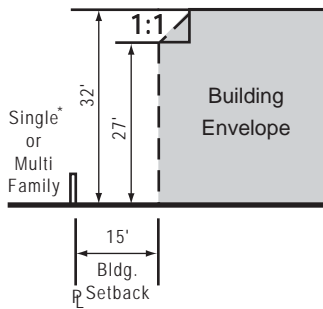
Exhibit 6.3d, Building Heights and Setbacks



* Existing land uses

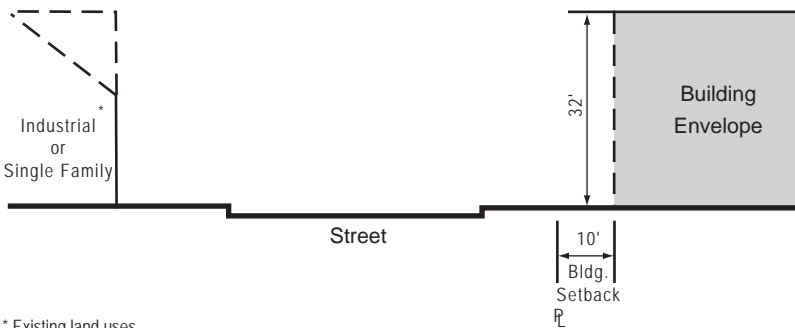
Section M

For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.



* Existing land uses

Section N

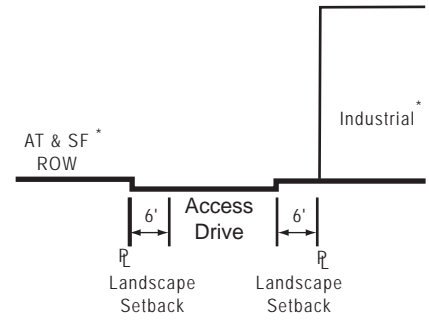
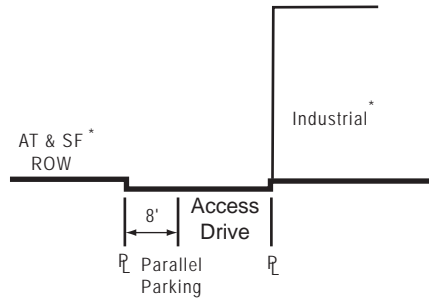


* Existing land uses

Section O

Exhibit 6.3e, *Building Heights and Setbacks*

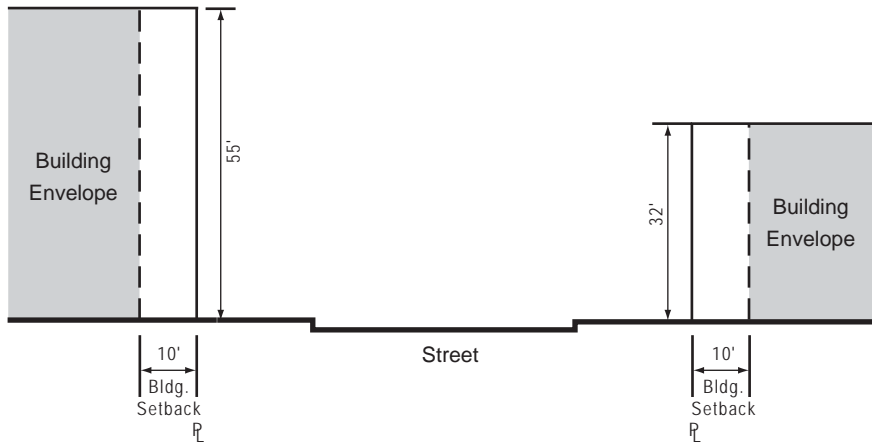
For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.



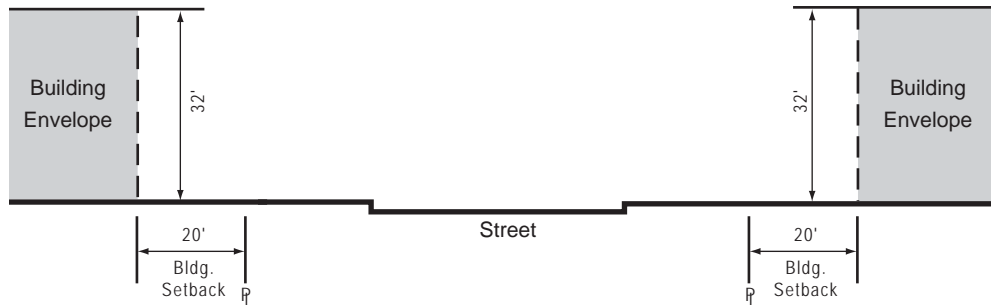
* Existing land uses

Section P1

Section P2 (occurs only in 25' setback on Walnut Avenue)

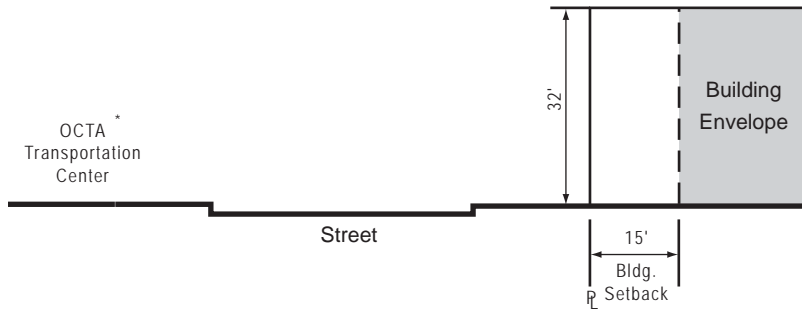


Section Q



Section R

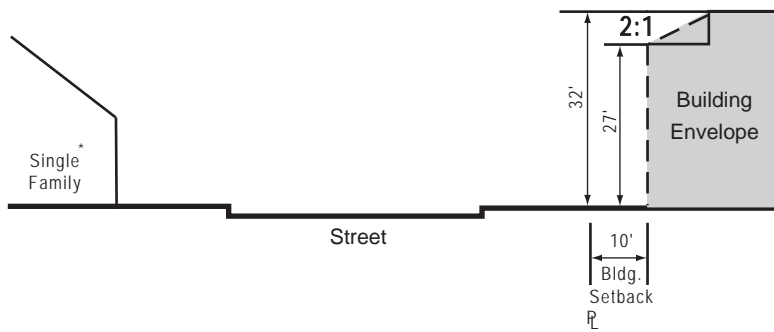
Exhibit 6.3f, *Building Heights and Setbacks*



* Existing land uses

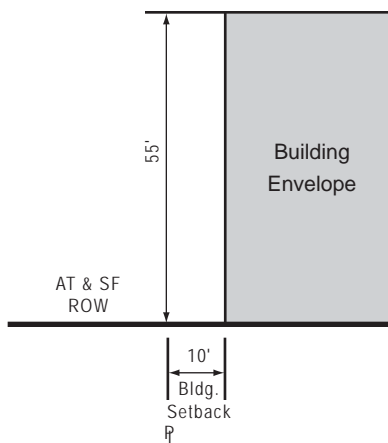
Section S

For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.



* Existing land uses

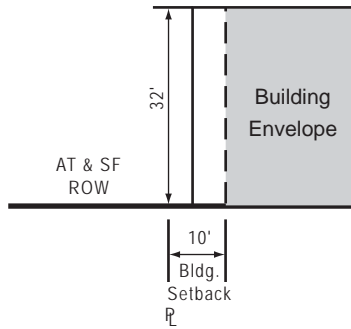
Section T



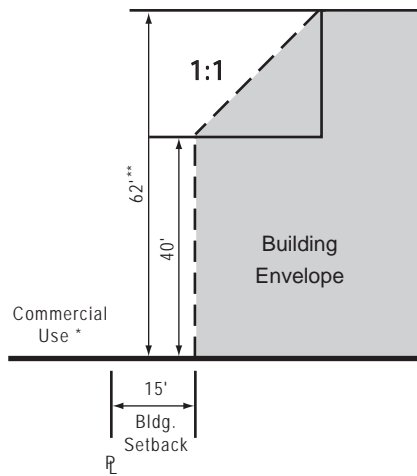
Section U

Exhibit 6.3g, *Building Heights and Setbacks*

For locations of cross sections, refer to Exhibit 6.2, *Building Height Contours and Setback Cross Sections Key Map*.

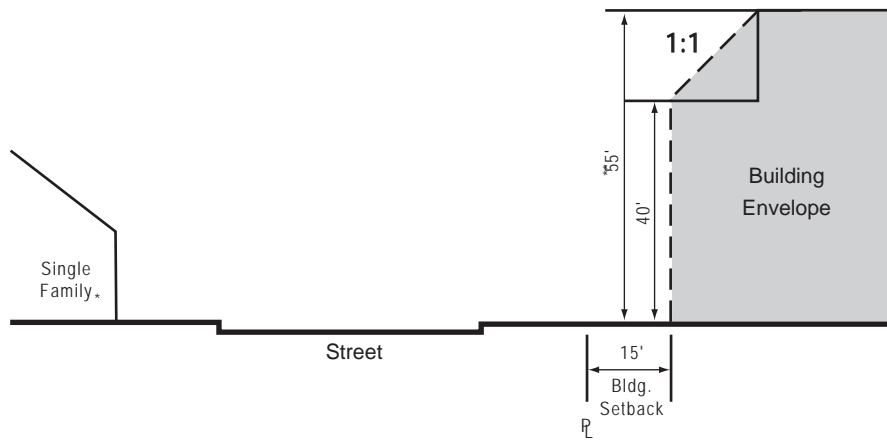


Section V



* Existing land uses
 ** 55' maximum height for Center for the Arts only

Section W



* Existing land uses

Section X

Exhibit 6.3h, Building Heights and Setbacks

E. Parking Lot Yard Requirements (Surface Lots)

1. Front Yard: There shall be a front yard of not less than 5 feet whenever a surface parking lot abuts a public street, except on Glassell Street where there will be a minimum of 15-foot setback landscaped yard. The front yard shall be landscaped with hedges, walls and/or berms to provide a screen of not less than 3' nor more than 3'-6" high.
2. Side Yard: There shall be a side yard of not less than 5 feet when a surface parking lot abuts a residential district. The side yard shall be landscaped and permanently maintained. A 6-foot high separation wall shall be constructed within the required 5-foot side yard if the parking lot abuts an off-campus residential use.
3. Rear Yard: There shall be a rear yard of not less than 5 feet when a surface parking lot abuts an off-campus residential district. The rear yard shall be landscaped and permanently maintained. A 6-foot high separation wall shall be constructed on the rear property line between the parking lot and the off-campus residential use.

F. Fences, Walls and Hedges

The Specific Plan's wall and fence requirements shall supersede all other City wall and fence standards. Walls, fences and hedges shall conform to the following requirements:

1. A 6-foot solid masonry wall shall be required on the property line adjacent to any off-campus residential property as a condition of approval of a building permit for any new permanent structure, except in the required front yard setback.
2. Height limits: Fences, walls and hedges may be located in yard areas, provided that they do not exceed 6 feet in height as measured from the highest elevation of land contiguous to the fence location, except as follows:
 - a. Required front yard area: 3½ feet height maximum.
 - b. Screening of permanent off-street parking areas: Off-street parking areas shall be screened from the view of surrounding off-campus residents by a solid masonry wall not more than 6 feet in height for side and rear yards, and not more than 3½ feet high within front yard setbacks per the City of Orange Fence Ordinance. As an option, shrubs whose normal growth is not less than 3½ feet in height may be used to screen off-street parking areas for front, side and rear yards. Solid walls shall be required where a campus parking lot directly abuts an off-campus residential lot.

- c. Screening of the School of Film and Television production backlot areas: Walls and fences greater than 6 feet in height may be permitted for film and television production backlot areas to screen the equipment from the view of surrounding properties, subject to review and approval by the Community Development Director.
- d. Landscaping shall be provided along all walls and will consist of shrubs, espalier trees or shrubs, vines or combination thereof.

G. Off-Street Parking

- 1. Off-street parking requirements shall be as follows:
 - a. Required Number of Parking Spaces:
 - 1) 0.47 parking space per peak classroom capacity (number of seats in classrooms/labs/Argyros Forum), plus
 - 2) 0.60 parking space for each residence hall bed (not the number of resident students).
 - b. Minimum dimension of parking spaces, the location and the orientation of parking spaces shall be provided pursuant to the standards contained in this Specific Plan. Campus parking spaces shall be a minimum of 8.5 feet by 17.5 feet in dimension.
 - c. Traffic and Parking Management Plan: A Traffic and Parking Management Plan shall be prepared by the University. This shall be updated annually at a time to be determined by the Public Works Director of the City of Orange. A responsible University representative shall be assigned to this activity.
 - d. Lighting: Lighting in University parking lots shall comply with the provisions of Section 5.5.6, *Lighting*, of this Specific Plan.
 - e. Special Event Parking: To the maximum extent possible events will be scheduled during off-peak days/hours. Special notification and signage will be provided so that overflow parking may be directed to alternative parking locations.
 - f. It is the City of Orange's policy that no on-street parking can be counted towards a project's required parking objectives.
- 2. Circulation and Drive/Parking Areas:
 - a. All points of vehicular access and circulation to and from off-street parking areas, and driveways onto public rights-of-way, shall be approved by the Director of Public Works.

- b. All off-street parking areas and private drives shall be constructed in accordance with standards on file in the Office of the Director of Public Works.
- 3. Registration:
 - a. The University will require that all student, faculty and employee vehicles be registered with the University, display a parking sticker or utilize a key card, and park in University-designated parking areas.
 - b. Visitors shall park in visitor parking areas.

H. Landscaping

- 1. Street Trees: Trees will be provided in accordance with the design guidelines contained herein. The arrangement of such trees along a public street shall be approved by the Director of Public Works.
- 2. On-site Landscaping: All required yard areas shall be landscaped and perpetually maintained by the University. Within 50 feet of the perimeter of each building, a minimum of 20 percent of the total area shall be landscaped.

I. Open Space

The overall campus open space, which includes natural open space, landscaped areas, athletic fields and walks, shall be at least 30 percent of the total campus area. Open space plans will be reviewed at the time of Site Plan Review and shall be consistent with the open space guidelines contained herein.

J. Signs

Campus signs shall comply with the provisions set forth in Section 5.7, *Signage Guidelines*, of this Specific Plan and in Chapter 17.36 of the City of Orange Zoning Code. Where the Specific Plan's provisions differ from those of the Zoning Code, the former shall apply.

K. Outdoor Storage

In instances where permitted outdoor storage is provided, such storage shall be visually screened from at-grade views from all adjacent building sites and streets by one of the following:

- 1. A decorative solid masonry wall not less than 6 feet nor more than 8 feet in height;
- 2. A building or a combination of open fencing and a planting screen not less than 6 feet nor more than 8 feet in height; or
- 3. Any combination thereof.

Where a planting screen is required, the screen shall consist of not less than one row of evergreen shrubs or vines which, after two full growing seasons under accepted planting and irrigation practice, will grow to not less than 6 feet in height.

The screening herein required shall be established at or before the time any area is used for outdoor storage; provided, however, that where existing structures or existing landscaping features are such that strict compliance with the requirements of this section is not necessary to accomplish the intent of this section, then the Community Development Director may waive compliance with all or part of such requirements.

L. Supplemental Standards

1. Use of a residential building for any nonresidential use: Any residential building that is no longer used for residential purposes must comply with the appropriate use standards herein for the planning unit of the Specific Plan it is located within and be consistent with the UBC, the UFC, and the Specific Plan Site Plan Review.
2. The campus Floor Area Ratio (F.A.R.) shall not exceed 1.0, excluding parking structures; provided, however, that an F.A.R. transfer of up to an additional 25% on a building parcel or site shall be permitted, so long as the F.A.R. of 1.0 on the overall campus is not exceeded. Such F.A.R. transfers shall be reviewed and approved by the Community Development Director.
3. The maximum capacity shall not exceed 5,000 seats. At the time of site plan review for each project, the University will provide the City with current classroom capacity figures. The City retains the right to audit classroom capacity at any time it deems necessary.
4. At the time of site plan review, the University shall submit a summary of current building square footage, parking and classroom capacity up to the maximums allowable by this Specific Plan.

6.4.2 Academic 1 Area (A-1)

A. Intent and Purpose

The Academic 1 Area (Planning Area A-1, see Exhibit 6.1, *Planning Area Designations*) is intended to accommodate and cultivate a wide range of academic pursuits. This will include the learning activities on campus, classrooms, administrative offices, libraries, Center for the Arts, and indoor assembly areas.

B. Principal Structures and Uses

Permitted Uses
a. Academic facilities (classrooms, lecture halls, dance studios, etc.).
b. Administration and executive offices.
c. Athletic events (i.e. football, soccer and lacrosse games, physical education).
d. Athletic fields and facilities.
e. Auditoriums and gymnasiums.
f. Chapels.
g. Cultural facilities (theaters, galleries, music, etc.).
h. Entertainment facilities.
i. Food service facilities.
j. Grandstands and stadiums.
k. Laboratories and research facilities.
l. Law school and related facilities.
m. Libraries.
n. Maintenance and support facilities.
o. Museums.
p. Parking lots and parking structures.
q. Performing arts centers and theaters, cultural centers, concert halls, rehearsal halls, and ancillary uses.
r. Public meeting facilities and conference centers/facilities.
s. Retail uses.
t. Student union, including food services and ancillary uses.
u. Any use deemed similar by the Community Development Director.

C. Uses Permitted Subject to Specific Plan Site Plan Review

- a. Temporary structures (A maximum of 6 in the Academic 1 Area, excluding those used specifically for construction purposes).

D. Uses Permitted Subject to Conditional Use Permit

- a. On-premises sale and consumption of alcoholic beverages associated with the Center for the Arts only.

6.4.3 Academic 2 Area (A-2) and Overlays

A. Intent and Purpose

The Academic 2 Area (Planning Area A-2, see Exhibit 6.1, *Planning Area Designations*) is intended to accommodate and cultivate a wide range of academic pursuits. Due to its location in a primarily industrial area, a broader range of uses are permitted in A-2 Area than in A-1 Area. This will include production activities, classrooms, administrative offices, library and indoor assembly areas.

Glassell Street Overlay

The parcels situated along the west side of Glassell Street between Walnut and Sycamore Avenues in the A-2 area are designated as the Glassell Street Overlay (see Exhibit 6.1, *Planning Area Designations*). Only certain A-2 land uses are appropriate on these parcels because of their locations adjacent to residential and commercial uses and their smaller lot sizes. The principal structures and uses permitted in the Glassell Street Overlay are listed herein.

Atchison Street Overlay

The parcels located between Atchison Street and Cypress Street, south of Maple Avenue in the A-2 area are designated as the Atchison Street Overlay (see Exhibit 6.1, *Planning Area Designations*). The intent of the Atchison Street Overlay is to promote mixed use development, retail, office and educational uses. While many of the A-1 and A-2 uses are permitted in the Atchison Street Overlay, there are some uses that are prohibited in this overlay area (see table below).

B. Principal Structures and Uses - A-2 Area

Permitted Uses
a. All uses permitted in the Academic 1 Area. Only certain Academic 1 uses are permitted in the Glassell Street Overlay, which are listed individually under the Principal Structures and Uses - Glassell Street Overlay.
b. Design, construction and manufacturing activities related to film production activities, including sales to third parties. These activities include woodshops, machine shops, mechanical equipment, model, set, plastic and general fabrication activities, sign-making, paint shops and other similar uses.
c. Entertainment shows, indoor (in a fully enclosed structure), including but not limited to live, automated, computerized, motion picture and amplified and non-amplified entertainment. Entertainment must be limited to between the hours of 9 a.m. to 11 p.m.
d. Museums, displays, art shows, art galleries, indoor or outdoor.
e. Production activities related to film school.
f. Residential, single-family and multi-family.
g. Retail uses.
h. Sets.
i. Signs.
j. Trailers for the use of construction and studio production activities.
k. Use and storage of materials and products indoor and outdoor, related to construction, operation, manufacturing or maintenance of uses permitted.
l. Uses which evolve as a result of development of technology or media, provided that they are related to permitted uses.
m. Warehouse and storage facilities.
n. Any use deemed similar by the Community Development Director.

C. Principal Structures and Uses - Glassell Street Overlay

Permitted Uses - Glassell Street Overlay
a. Academic facilities (classrooms, lecture halls, etc.).
b. Laboratories and research facilities.
c. Museums, displays, art shows, art galleries, indoor or outdoor.
d. Parking lots and parking structures.
e. Public meeting facilities and conference centers/facilities.
f. Residential.
g. Retail uses.
h. Signs.
i. Student union, including food services and ancillary uses.
j. Any use deemed similar by the Community Development Director.

D. Principal Structure and Uses - Atchison Street Overlay

Permitted Uses - Atchison Street Overlay
a. All uses permitted in the Academic 1 and Academic 2 Areas, as well as the uses listed below.
b. Antique shops.
c. Bakery.
d. Banks, savings & loans.
e. Barber, hair stylist, manicurists.
f. Bookstore, retail.
g. Computer sales & services.
h. Doctor, dentist offices.
i. Educational facilities.
j. Florist.
k. Gift shop.
l. Insurance agencies.
l. Jeweler.
m. Offices, professional.
n. Pharmacies.
o. Photographers/photo finishing.
p. Printing and publishing (fully noise attenuated).
q. Restaurants, sandwich shops, take out (no drive-throughs).
p. Retail sales, apparel, dry goods, hardware and sporting goods.
r. Shoe repair.
p. Theaters, movie or live (except adult businesses).
s. Any use deemed similar by the Community Development Director.
Prohibited Uses - Atchison Street Overlay
The uses listed below are prohibited in the Atchison Street Overlay Area:
a. Athletic fields and facilities.
b. Design, construction and manufacturing activities related to film production activities, including sales to third parties.
c. Grandstands and stadiums.
d. Law school and related facilities.
e. Libraries.
g. Production activities related to film school.
h. Residential, single-family (multi-family residential is permitted).
i. Sets.
j. Student union.

E. Uses Permitted Subject to Specific Plan Site Plan Review

- a. Special events.
- b. Temporary structures (A maximum of 6 in the Academic 2 Area, excluding those used specifically for construction purposes).

6.4.4 Residential Area (B)

A. Intent and Purpose

The Residential Area (Planning Area B, see Exhibit 6.1, *Planning Area Designations*) is intended to provide both indoor and outdoor recreation facilities and accessory uses, as well as residential uses to accommodate student and faculty housing for the University. This area also provides limited outdoor recreational opportunities for the surrounding community.

B. Principal Structures and Uses

Permitted Uses
a. Child care/child study facilities.
b. Food services.
c. Fraternities, sororities, honor societies, religious groups or private residential clubs on University-owned property, unless directly adjacent on two sides or more by privately owned residential property.
d. Greenhouses.
e. Laundry facilities - indoor or enclosed, screened from view.
f. Maintenance facilities, located at least 100 feet from privately owned residential property.
g. Parking lots and parking structures.
h. Residence, caretakers; provided that the legally established use requires the continuous supervision of a caretaker, superintendent or watchman and the residence is occupied only by such persons and their families.
i. Student housing, dormitories, group housing.
j. Swimming pools.
k. Tennis, volleyball, badminton, croquet, basketball, and similar outdoor activities.
l. Any use deemed similar by the Community Development Director.

C. Uses Permitted Subject to Specific Plan Site Plan Review

- a. Temporary structures (A maximum of 3 in the Residential Area, excluding those used specifically for construction purposes).

D. Interim Structures and Uses

Interim structures and uses permitted for those parcels on Shaffer Street and Walnut Avenue adjacent to off-site residential uses (see Exhibit 6.1, *Planning Area Designations*); in effect until the off-site residential properties adjacent to these parcels along the west side of Shaffer Street and north side of Walnut Avenue are owned by the University.

Interim Uses

- a. Child care/child study facilities.
- b. Recreational facilities, low intensity, such as tennis, volleyball, badminton, croquet, basketball and similar outdoor activities.
- c. Residence, caretakers; provided that the legally established use requires the continuous supervision of a caretaker, superintendent or watchman and the residence is occupied only by such persons and their families.
- d. Any use deemed similar by the Community Development Director.

7.0 IMPLEMENTATION

7.1 PURPOSE AND INTENT

Development shall be implemented in conformance with the regulations and guidance contained within this Specific Plan. This chapter contains the procedures for administration of the provisions included herein and estimated phasing for the development. Specific Plan implementation will be carried out by the method of Site Plan Review as outlined in this chapter. Other information covered in this chapter pertains to general administration, demolition, subdivision, amendment procedures, and the linkage between these elements.

7.2 PHASING

The Chapman University Specific Plan will be implemented in phases. An adequate level of infrastructure to accommodate each new project and Specific Plan consistency will be provided and assured through Site Plan Review.

The Specific Plan phasing anticipates the short-term University needs, which includes construction of the Center for the Arts and associated uses. It is anticipated that construction of the Center for the Arts will begin in 2011. The development schedule for the remaining phase(s) is undetermined at this time. This plan provides for a performance standard based on the availability of on-site parking for calculating classroom capacity, with a maximum student capacity of 5,000 seats and maximum enrollment of 8,700 students. All improvements are dependent on the availability of project funding.

7.3 SITE PLAN REVIEW

The Specific Plan shall be implemented through the method of Site Plan Review. The Site Plan Review process encompasses the necessary review procedures for meeting the City's Local CEQA Guidelines. A Site Plan Review shall be required for all development within the Specific Plan area requiring a building permit, except for activities listed as exemptions below or other activities considered to be exempt as determined by the Community Development Director. Tentative parcel and tract maps may be processed independent of the Site Plan Review procedures, in accordance with the City of Orange Subdivision Code. Site Plan Review will not be required for interior alterations where there is no increase in square footage, intensification of use, or changes to historic resources.

All proposed projects within the Specific Plan shall be required to have an approved Site Plan prior to issuance of building permits or concurrent with subdivisions, or any other permit for the property. The Site Plan Review procedure is necessary for the following reasons:

- To ensure consistency with the Specific Plan, the General Plan and all implementing ordinances.
- To promote the highest contemporary standards of site design.
- To adapt to specific or special development conditions that occur from time to time, while continuing to implement the Specific Plan and conform development to the General Plan and implementing ordinances.
- To facilitate complete documentation of land use entitlement authorized and conditions pertinent thereto.
- To adapt to substantial changes that may occur with respect to the circumstances under which the project is undertaken.
- To provide required documentation for relocation and/or demolition of historic buildings as part of the required Local CEQA review process and HABS/HAER documentation process.

7.3.1 Exemptions

The following is a list of activities that are exempt from the Site Plan Review process. This list is not all-inclusive. The Community Development Director may exempt other special activities not covered by this example listing.

- All interior changes, alterations, construction projects that do not result in an increase of intensity or number of dwelling units, or modifications to identified interior contributing historic features;
- Repainting.
- Reglazing, new windows using materials that match the existing materials and allow energy-efficient materials.
- Re-landscaping of existing structures. (If the landscaping is historic, it must be replaced with same features, size and species historically found in the vicinity and on the site.)
- Re-roofing with similar style roofing materials.
- Minor exterior repairs.
- Internal signs.

As discussed in Section 7.3.2, *Building Evaluation*, demolition, relocation or substantial modifications of contributing historic structures are subject to environmental review in accordance with the City's Local CEQA Guidelines. Generally, if a project follows the design and development criteria of the Chapman University Specific Plan, the Secretary of the Interior's Standards for Rehabilitation (see Appendix J) and the mitigation measures contained in the Chapman University EIR, the project shall be considered as mitigated to an impact level of less than significant. The following projects shall be subject to CEQA review:

1. The basic threshold for substantial adverse change to a historic resource shall be a project that threatens loss or destruction of the qualities that caused original formation of the local historic district; and
2. Additional thresholds for substantial adverse change include alterations to a historic resource, including additions and adjacent or related new construction.

Should the City determine that the cumulative impact of successive projects of the same type in the same area over time is significant, or that a project will result in a substantial adverse change in the significance of a historic resource, a categorical exemption shall not be used.

7.3.2 Building Evaluation

Before demolition, relocation or rehabilitation of any contributing historic resource listed in Exhibit 1.4, *Contributing Resources on National Register of Historic Places* within the Specific Plan area, a resource evaluation shall be conducted by the University as part of the required local CEQA review to examine whether the structure can be rehabilitated, relocated and/or demolished. Relocation to an appropriate historic location within the Old Towne District may be considered as an alternative to demolition. Demolition of the contributing historic structures shall not occur unless the following options have been considered:

1. Preservation (avoidance) options.
2. Implementation of adaptive reuse guidelines (refer to 5.8, *Historic Preservation and Enhancement Guidelines*, of the Specific Plan) that would minimize physical alteration.
3. Physical alterations that do not jeopardize the contributing elements of the building.
4. Physical alterations consistent with the Secretary of the Interior's Standards for Rehabilitation (adaptive use and restoration options).
5. Relocation of the entire structure to an appropriate historic location in the community as the alternative to demolition.
6. Demolition, as a last resort.
7. Take efforts to salvage historical features.

Demolition of any non-contributing structures over 120 square feet in area within the A-1 and A-2 zones of the Specific Plan area is subject to demolition review. It is anticipated that CEQA compliance for the demolition of non-contributing historic structures, and the effects of modified or relocated non-contributing structures, within the Old Towne District would be approved through implementation of the Specific Plan EIR, assuming compliance with the historic resource mitigation measures and the Specific Plan design guidelines.

Applications for demolition and relocation projects shall be processed in the manner presented in the Local CEQA Guidelines and in Section 7.4, *Demolition Review*, of this Specific Plan.

7.3.3 Reviewing Bodies for Site Plan Review

- **Staff Review Committee:** The Staff Review Committee consists of the Community Development Director, Chief Building Official, Economic Development Director, Public Works Director/City Engineer, Community Services Director, Police Chief, Fire Chief and/or designated representatives. The Staff Review Committee reviews all Site Plans within the Specific Plan area to ensure that the projects conform to the development concepts, regulations and standards (traffic/circulation, historic context, building/site planning, etc.) of the Specific Plan and remain compatible with surrounding properties. In addition, the Staff Review Committee reviews all environmental documentation and, based on its findings, has the authority to determine whether a project's environmental impacts may be significant in accordance with CEQA Guidelines.

- **Design Review Committee:** The Design Review Committee reviews all Site Plans within the Specific Plan area to consider the variable nature of architectural concepts, construction materials, etc. on a case-by-case basis, and ensure that the projects reflect the highest quality of planning and design, consistent with the design guidelines of the Specific Plan.

The Staff Review Committee and Design Review Committee will review each project within the Old Towne District specifically for consistency with all of the adopted design and development criteria, including the Chapman University Specific Plan, the Secretary of the Interior's Standards for Rehabilitation and the City's Local CEQA Guidelines. Under select circumstances, Planning Commission shall be the principal reviewing body for Site Plan Review (see Appendix L for the Site Plan Review Process). In such cases, the Staff Review Committee and Design Review Committee shall serve as advisory bodies only.

7.3.4 Site Plan Review Procedures

Site Plans, which contain plans, drawings, illustrations, designs, reports and other detailed information as required herein, shall be submitted to the City staff for review and comment. Prior to preparation of the final Site Plan (and/or during the Site Plan Review Process), the University shall submit preliminary plans for review and comment by the Old Town Preservation Association (OTPA) and Orange Barrio Historical Society (OBHS). After incorporating OTPA and OBHS comments, where possible, the University is encouraged to submit/resubmit the preliminary plans to the Community Development Director for Site Plan Review. Comment from other City departments and service agencies shall be sought by City staff prior to preparing a recommendation on the Site Plan.

Applications for Site Plan Review shall be submitted to the Community Development Department for review and approval. Applications shall insure consistency with the

development regulations and design guidelines contained within the Specific Plan, as well as consistency with the Secretary of the Interior's Standards for Rehabilitation contained in Appendix J of the Specific Plan, where applicable. All modifications or new construction shall consider the context, scale and character of the surrounding uses. The University will make all required revisions and submit the revised Site Plan to the Community Development Department for review and approval. Once the Staff Review Committee and Design Review Committee have completed their review of the Site Plan and make a recommendation to approve, approve with conditions or deny the project, a staff report shall be prepared and submitted to the Community Development Director along with the Site Plan. If the project is consistent with the provisions of the Specific Plan, the Site Plan shall be approved administratively by the Community Development Director, unless Planning Commission review, as described in Section 7.3.3 of this Specific Plan, is required. Any decision by the Community Development Director may be appealed to the Planning Commission. The Site Plan Review process is depicted in flow chart form in Appendix L for convenient reference.

7.3.5 Site Plan Review Submittal Requirements

Submittal for Site Plan Review shall consist of plans, drawings, illustrations and designs, and any other detailed information as required to determine compliance with the provisions of the Specific Plan and responsiveness to design guidelines. The following list of plans and information is required:

1. Assessor's parcel(s) numbers.
2. Area and dimensions of the property.
3. Vicinity map indicating project location.
4. North arrow and scale.
5. All applicable tentative tract maps or tentative parcel maps.
6. A physical description of the site, including boundaries, easements, existing topography, natural features, existing buildings, structures and utilities.
7. Location, grades, widths and types of improvements proposed for all streets.
8. Site Plan showing the location of all structures, landscape and hardscape areas, parking areas, walks, internal circulation, access, adjacent streets, sign type and placement and fence/wall type and placement.
9. Building elevations.

10. Cross section(s) and streetscape pattern of the existing and proposed environment for determining building envelope and streetscape compatibility with the surrounding neighborhood, including building setbacks, height, massing, floor area ratios, building side yard setback patterns, and the existing and proposed architectural styles. For buildings located within 120 feet of a residentially zoned property, height cross sections showing the existing (if applicable) and proposed building envelopes shall be included.
11. Description of the extent to which design guidelines have been used in the Site Plan and a statement documenting Specific Plan consistency.
12. A tabulation of square footage, area devoted to parking, parking spaces, landscape coverage, building coverage and heights.
13. Such applications and environmental assessment forms as required by the City.
14. A summary of current classroom capacity, building square footage, parcel/lot size, floor area ratio, and a current campus traffic and parking analysis. If the traffic analysis indicates a need for improvements to maintain acceptable service levels on surrounding streets, the University may be required to perform such improvements.
15. A solar shadow study for each building that exceeds 32 feet in height, as discussed in Section 6.4, *Campus Development Standards*, of this Specific Plan.

7.3.6 Site Plan Review Environmental Determination

An EIR was prepared for the Chapman University Specific Plan Amendment No. 5, which covers the campus and its future expansion. If the City, upon review of the environmental checklist as part of the Site Plan Review application, finds that a subsequent project is consistent with the Specific Plan, the Secretary of the Interior's Standards for Rehabilitation and the mitigation measures contained in the EIR, no further environmental consideration is necessary, with the exception of demolition, relocation or substantial modification of contributing historic structures. These projects shall be subject to environmental review in accordance with the Local CEQA Guidelines. It is anticipated that CEQA compliance for the demolition of non-contributing historic structures, and the effects of modified or relocated non-contributing structures, within the Old Towne District would be approved through implementation of the Specific Plan EIR, assuming compliance with the historic resource mitigation measures and the Specific Plan design guidelines. Also, demolition of the existing buildings on the future School of Film and Television site will not require further environmental review, since the potential environmental impacts of this project were evaluated and appropriate

mitigation measures were proposed in the EIR. Discretionary Site Plan Review will be subject to an environmental analysis to determine whether or not the Specific Plan EIR or any other prior environmental evaluations cover the future proposed projects.

7.3.7 Site Plan Approval Time Limitations

Site Plan approval, in accordance with this Specific Plan, shall be valid for a period of two years. If construction of a project does not commence within that period and proceed with due diligence thereafter, the approval of the Site Plan shall terminate and an additional submittal, review and approval will be required. Notwithstanding the preceding, a Site Plan approval may be granted up to three one-year extensions of time (five years total), upon written request describing the extenuating circumstances. Such time extension shall not require public notice.

7.3.8 Site Plan Revisions

Revisions that are minor in nature or reasonable extensions other than those applied as a condition of approval shall be submitted for review and approval administratively by the Community Development Director. Significant changes, additions or omissions shall be submitted for review and approval by the Approving Body, with appeal to the Planning Commission if the Community Development Director was the Approving Body, or the City Council if the Planning Commission was the Approving Body.

7.3.9 Mandatory Findings for Site Plan Approval

The Community Development Director or Planning Commission, as required in Section 7.3.3 of this Chapter, shall make the following written findings before approving or conditionally approving any Site Plan:

1. The proposed project is compatible with other projects within the Specific Plan area;
2. The Site Plan is compatible with the regulations and design criteria and guidelines of the Chapman University Specific Plan.

7.4 DEMOLITION REVIEW

The University shall have the right to demolish structures or relocate architecturally significant buildings within the limits of the Demolition Review process described in Section 17.10.090, Demolition Review, of the Zoning Ordinance, as further augmented in this Specific Plan. The purpose of the Demolition Review is to preserve the integrity of the City's cultural and architectural history, as well as consider any adverse economic impact upon the Old Towne District. This Specific Plan requires that all alternatives, financial incentives and strategies to avoiding demolition (including relocation) of contributing historic structures be given full attention prior to the processing of an application for a demolition permit. The Demolition Review process is required for

projects involving the demolition and/or relocation of any non-contributing structure over 120 square feet in area within the A-1 and A-2 zones of the Specific Plan, or any contributing historic resources listed on the National Register of Historic Places. Applications for demolition shall be processed in the manner presented in Section 17.10.090, Demolition Review, of the Zoning Ordinance, and as further required in this Specific Plan (see the flow charts in Appendix M, Historic Review Process, which include the Demolition Review process).

The following information shall be required for demolition and/or relocation of buildings within the A-1 and A-2 zones of the Specific Plan:

1. Demolition of Individually Listed Buildings on the National Register: When seeking demolition of any individually listed National Register buildings, the University shall provide the following information in addition to the submission requirements for Site Plan Review listed in Section 7.3.5:
 - a. Initial Study to assess the project's environmental impacts;
 - b. Economic feasibility studies, including financial and development analysis and incentives;
 - c. Feasibility studies, including architectural and engineering analyses, regarding the adaptive reuse or restoration of the building;
 - d. Any conditions proposed to be voluntarily placed on new development that would mitigate the loss of the historic or contributing structure;
 - e. Records and photographs, if available, depicting the original building, including drawings and written descriptions;
 - f. Complete architectural drawings and black & white photographs showing the existing structure meeting HABS/HAER criteria listed in Appendix H of this Specific Plan;
 - g. Engineering, structural and test reports showing the conditioning of the building;
 - h. Design Review Committee's recommendation on the replacement structure or use of the site, including architectural drawings for the proposed new construction or a use that is intended to replace the landmark structure;
 - i. Certified mailing list of labels of property owners within three-hundred-foot

(300') radius of the proposed demolition;

- j. Other information that the University finds appropriate to foster research and provide an understanding of the historic resource pending demolition; and
 - k. Request and submit determination of effect of proposed demolition to the State Historic Preservation Office.
2. Demolition and/or Relocation of Contributing Historic Buildings within the Old Towne District: When seeking the demolition of any contributing historic building within the Old Towne District (see Exhibit 1.4, *Contributing Resources on National Register of Historic Places*), the University shall provide the above items a, c, d, e, h, i and k (in cases where multiple demolitions are proposed), in addition to the submission requirements for Site Plan Review listed in Section 7.3.5.
3. Demolition of Non-Contributing Buildings within the Old Towne District: When seeking the demolition of any non-contributing building within the Old Towne District, the University shall provide the submission requirements for Site Plan Review listed in Section 7.3.5.

7.5 SUBDIVISION REVIEW

The City of Orange Subdivision Ordinance shall apply to all development within the Specific Plan area required to obtain approval of subdivision maps where properties are to be separately financed, sold, leased or otherwise conveyed. The subdivision process will allow for the creation of lots as tentative parcel or tentative tract maps which allow for implementation of the phasing plan. The review and approval of subdivision maps would set forth the various conditions necessary to ensure the improvement of streets, utilities, drainage features, and other service requirements specified by the City.

7.6 SPECIFIC PLAN ADMINISTRATION

The Chapman University Specific Plan shall be administered and enforced by the City of Orange Community Development Director, case planner and the City's historic planner in accordance with the applicable provisions of the City of Orange Zoning Ordinance. If a historic planner is not available, then an outside historic planner shall be consulted.

Certain changes to explicit provisions in the Specific Plan may be made administratively by the Community Development Director, subject to appeal to the Planning Commission and, subsequently, the City Council, including the following:

- 1. The addition of new information to the Specific Plan maps or text that does not change the effect of any regulations or guidelines.

2. Changes to the community infrastructure, such as drainage, water, and sewer systems which do not have the effect of increasing or decreasing development capacity in the Specific Plan area, nor change the concepts of the Plan.
3. The determination that a use be allowed which is not specifically listed as permitted but which may be determined to be similar in nature to those uses explicitly listed as permitted.

In any case where the processes or procedures for resolving an interpretation or implementation question are not spelled out or are not agreed to, the order of seeking direction is: Community Development Director, Planning Commission, then City Council. Any process or procedural determination may be appealed in the same order by either the applicant or City Council.

7.7 SPECIFIC PLAN AMENDMENTS

In accordance with California Government Code Sections 65453-65454, all specific plan amendments may be adopted by resolution, ordinance or combination thereof. This Specific Plan may be amended as necessary in the same manner it was adopted, by ordinance. As the University acquires additional properties, the Specific Plan may be amended to accommodate boundary changes. The procedure for a boundary change would include submittal of a revised legal description and map adding said property or properties and height gradients to the Specific Plan map. The Planning Commission and City Council would take action on this amendment, and said property would then become part of the Specific Plan and be governed by the regulations and provisions of this document.

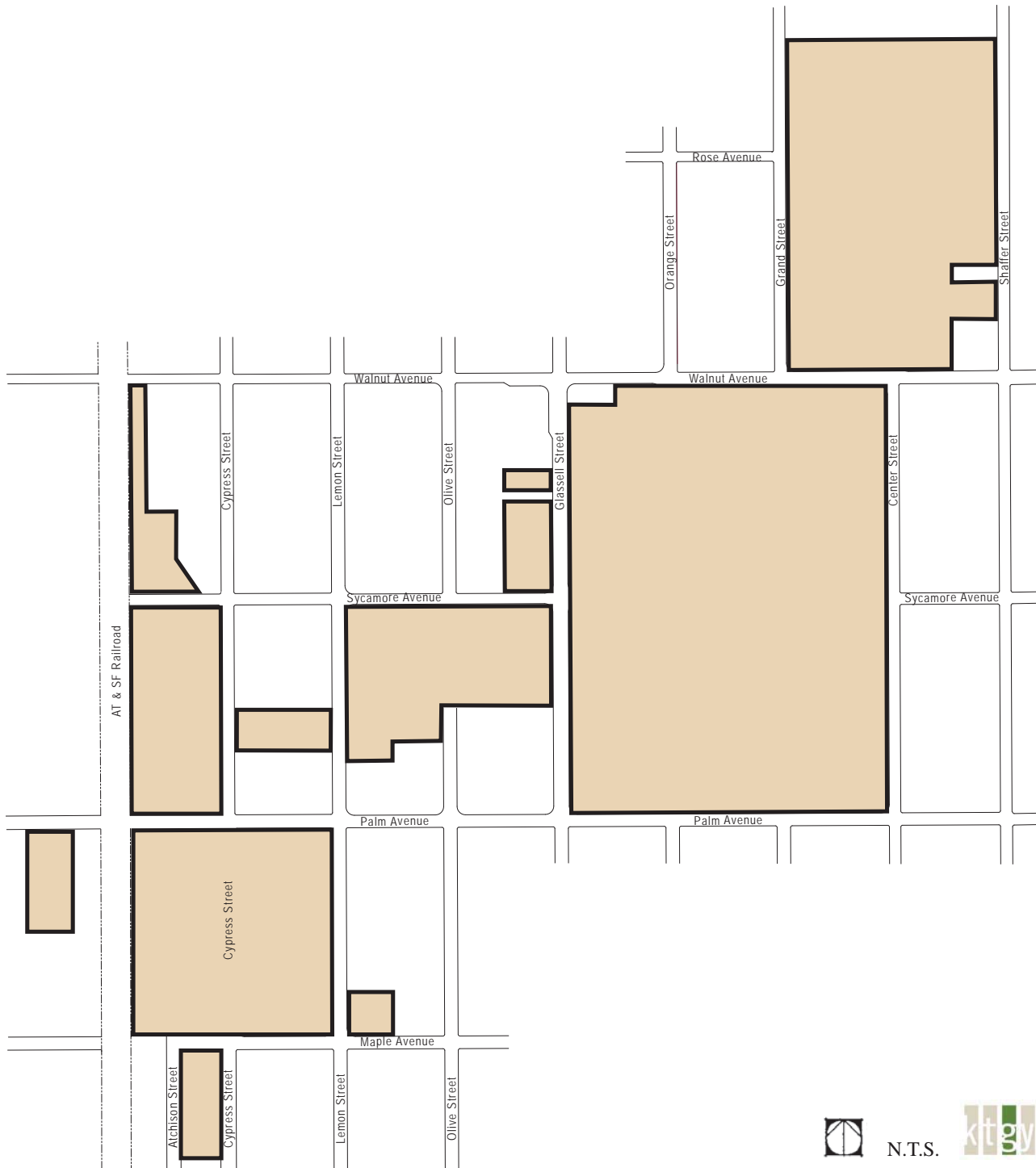
When the Specific Plan is proposed to be amended, the University shall, in addition to the normally required noticing procedures, deliver notification flyers of any future scheduled City of Orange Public Hearings or public body actions to all property owners and occupants within 300 feet of the Specific Plan boundary or project site if outside the Specific Plan boundaries.

7.8 PUBLIC NOTIFICATION

Notices of public hearings and decisions shall be mailed out in accordance with Section 17.08.040 of the Orange Municipal Code, except as provided for otherwise herein. A designated Notification Area has been established for the entire Chapman University Specific Plan Area (see Exhibit 7.1, Notification Area). For all public hearings requiring public notification, including but not limited to Specific Plan Amendments, as well as decisions by the Community Development Director, notices shall be mailed out via U.S. First Class mail to all residents, property owners and business owners located within 300 feet of any portion of the Notification Area.

Legend

 Required Notification Area (300' around shaded areas)



N.T.S.



Exhibit 7.1, Notification Area